

# WOODBROOK DART GATEWAY

AEVAL UNLIMITED COMPANY

LANDSCAPE DESIGN RATIONALE REPORT  
7059\_RP02

MAY 2026



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**DOCUMENT CONTROL SHEET:**

Project No: 7059

Project name: Woodbrook DART Gateway

Client: Aeval Unlimited Company

Document No: 7059\_RP02

Issue No: 01

Date: 08-05-2026

This document has been issued and amendment as follows:

ISSUE	STATUS	DATE	PREPARED BY	CHECKED BY
00	Part 8 Planning	16.01.26	WS	AP
01	Part 8 Planning	08.05.26	WS	WS

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# 01 WOODBROOK MASTERPLAN STRATEGY



Fig. 1.1: Masterplan Strategy Diagram

- The Masterplan Strategy for Woodbrook is based on the objectives set out in the Local Area Plan 2017-2023. The open spaces have a range of landscape character areas as follows:
- The **Communal Open Spaces** within the block courtyards are strategically connected to the Coastal Park and Shanganagh Park offering a continuation of the green infrastructure with periodic active and passive recreation spaces throughout the proposed development.
- The **Biodiversity Area** at the western boundary of the site is protected throughout the planning and design of both the permitted Woodbrook Phase 2 development and the current Part 8 applications and subject to regular ecological monitoring with inputs from both the DLR Biodiversity Officer and the local NPWS Conservation Ranger.. The area reflects a woodland character thereby creating a setting along the western and northern boundary of the proposed application site.
- The **Central Corridor Park** set within the wider masterplan area and residential homezone, responds to its site context with the park edges defined with semi- mature trees and ornamental planting. While the park establishes a green link to Shanganagh Park, it is also a usable open space with ample play opportunities and a kickabout space.
- The **Entrance** to Woodbrook through the Old Dublin Road is marked by a notable character of mature native trees which extends to the linear park at the western edge and includes shared pedestrian/cycle link to the adjacent DART Station.

## 02 HIERARCHY OF OPEN SPACES



Fig. 2.1: Masterplan Hierarchy of Open Spaces

### INTRODUCTION

The open spaces within Woodbrook are in accordance with the Woodbrook Shanganagh Local Area Plan and the quantum of open space provided by the Masterplan complies with that provided for in the LAP.

### COMMUNAL OPEN SPACE

The apartment blocks P & Q have designed internal courtyards at ground level serving as communal spaces as well as informal play opportunities. The Block Q communal open space is at sixth floor level and accessible to the residents.

### BOUNDARY BUFFER AREAS

Boundary and buffer open spaces provide set back from existing boundary planting and allow for additional planting. The southern open space with a combined pedestrian/cycle path provides connectivity to the linear parks.

### BIODIVERSITY AREA

The western part of the subject site comprises a Biodiversity Area, which has been protected throughout the planning and design of both the permitted Woodbrook Phase 2 development and the current Part 8 application. The landscape design incorporates extensive planting and management, to ensure there will be no impacts on this area once the development is complete and operational.

### OPEN SPACE

The open spaces within the application area directly connects to the DART Station with interlinks to a variety of infrastructural green open spaces highlighted in the overall Phase 1 and Phase 2 Applications.

### 03 DART GATEWAY PART 8 APPLICATION: LANDSCAPE DESIGN



Fig. 3.1: Masterplan Strategies: Application Boundary

- The landscape strategy for the Part 8 Application Site is to provide quality communal spaces corresponding to the overall development with strong connectivity to public open spaces, legibility, and an interactive public realm. It includes the following:
- The main arterial road running along the west and north ends of the application boundary serve as an important link from the Old Dublin Road to the DART Station.
- Communal Open Space in the form of courtyards and roof terrace amenity spaces to the apartments and duplexes will be provided. These will include children’s play opportunities with suitable play equipment as well as active and passive spaces for the residents. The courtyards will
- A cycle-pedestrian link runs along the south of apartment blocks enriching the connections within the site to the Shanganagh Public Park and DART Station.
- Various other ancillary infrastructures such as car parking, substations, bicycle parking and attenuation tanks will be provided within the application boundary.
- The site has an existing Biodiversity Woodland Area which will be retained, managed and enhanced through woodland planting.
- SuDs – Nature based solutions to the management of surface water will be proposed having rain retention areas at strategic points within the site.

## 04 MASTERPLAN



Fig. 4.1: Landscape Masterplan

### DART GATEWAY PART 8 APPLICATION MASTERPLAN

The application site boundary comprises of two apartment blocks P&Q with varying heights of 2-8 storeys having residential units and associated car parking facilities. The development facilitates continuous access to high-quality public realm with links to a variety of active and passive landscape infrastructures.

The landscape masterplan is a development of the core principles and objectives set out in the Landscape Strategy which include permeability, legibility, biodiversity, passive and active recreation in the form of play opportunities, and SuDs.

#### ■ Permeability

A series of hierarchical green infrastructure combined with shared pedestrian/cycle route provide active thoroughfares through the development with easy accessibility to the Old Dublin Road, the Dart Station, Neighbourhood Centre, and Shanganagh Park.

#### ■ Legibility

The masterplan design is proposed respecting the existing surrounding context. A distinct individual character is incorporated to the residential areas through proposed hard and soft landscaping material palette to create a balanced fabric around the building morphology, all of which provide rationality to the overall masterplan.

#### ■ Biodiversity

The proposal allows ample scope for retaining existing Biodiversity Area within the site and supplementing with native woodland species. The proposed planting also incorporates pollinator-friendly species in line with the All-Ireland Pollinator Plan 2021-2025, thereby aiming to achieve a resilient biodiversity within the site.

## 04.1 COURTYARD LANDSCAPE- BLOCK P



Fig. 4.2: Landscape Plan- Courtyard Block P

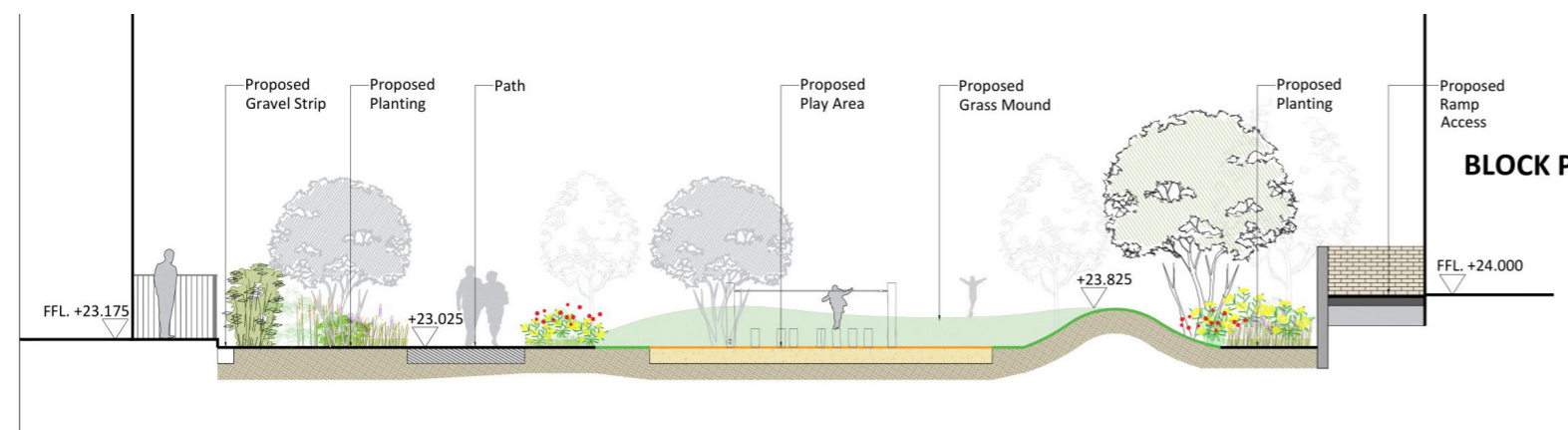


Fig. 4.3: Section Through Courtyard Block P

- The courtyard landscape, being part of the open space hierarchy, has been proposed with accessibility at the forefront of the design process.
- The courtyard provides a balance of usable spaces for all age group with suitable play opportunities for children. Street furniture in the form of seating has been positioned so as not to provide any obstruction to anyone visually impaired.
- Slopes and gradients have been designed to no more than 1:21 to ensure ease of universal access within the courtyard.
- Suitable demarcation from public open space has been proposed in the form of security gates and railings to ensure effective management of the communal areas within the courtyard.



Fig. 4.4: Reference Courtyard Landscape Images

## 04.2 COURTYARD LANDSCAPE- BLOCK Q

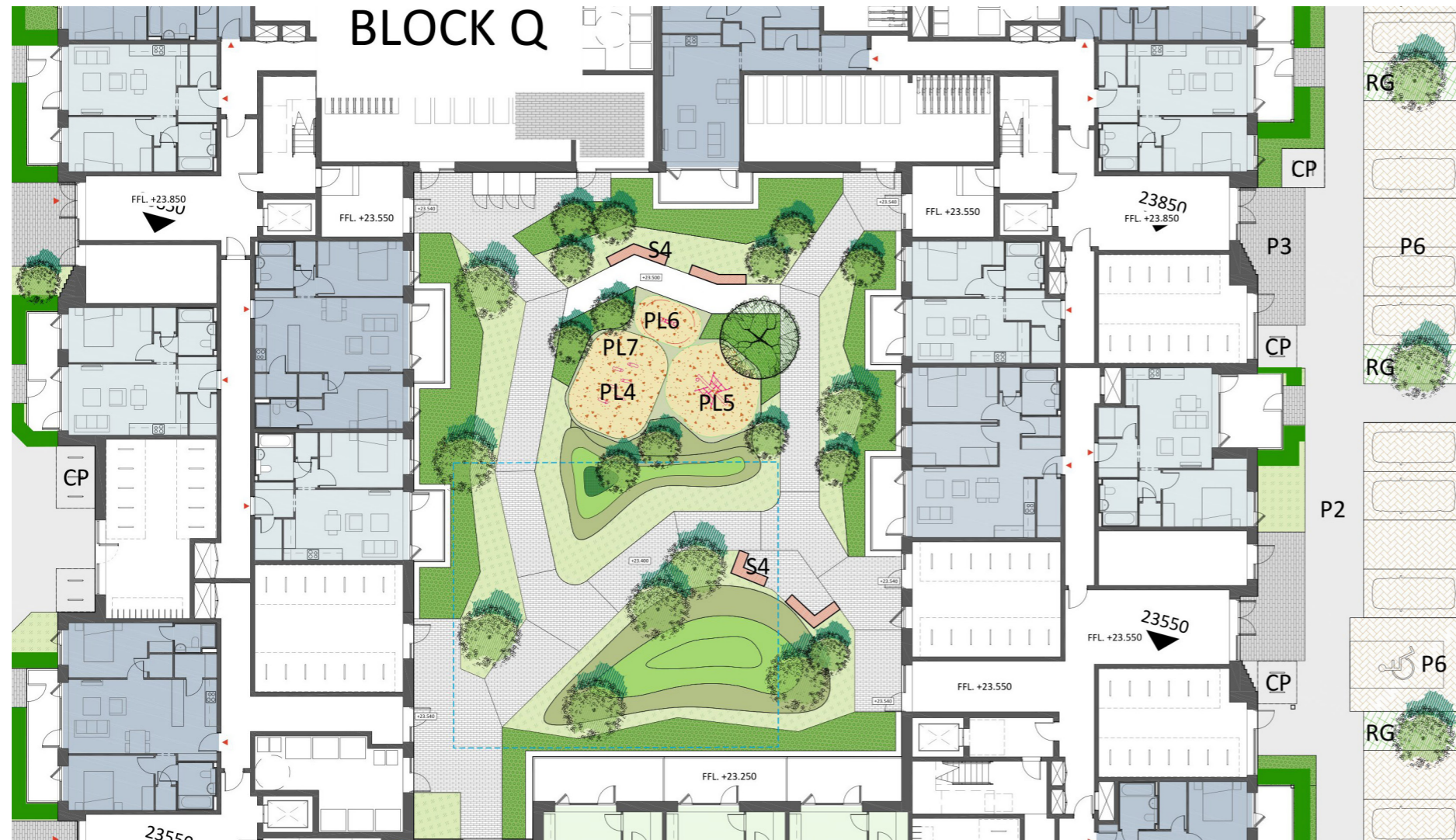


Fig. 4.5: Landscape Plan- Courtyard Block P

- The landscape scheme for courtyard in Block Q also follows the same principles as set out in the landscape masterplan strategy.
- Low undulating mounds emerging from the ground create additional relief in the scheme along with streamlined landscaping edges with trees at strategic locations.

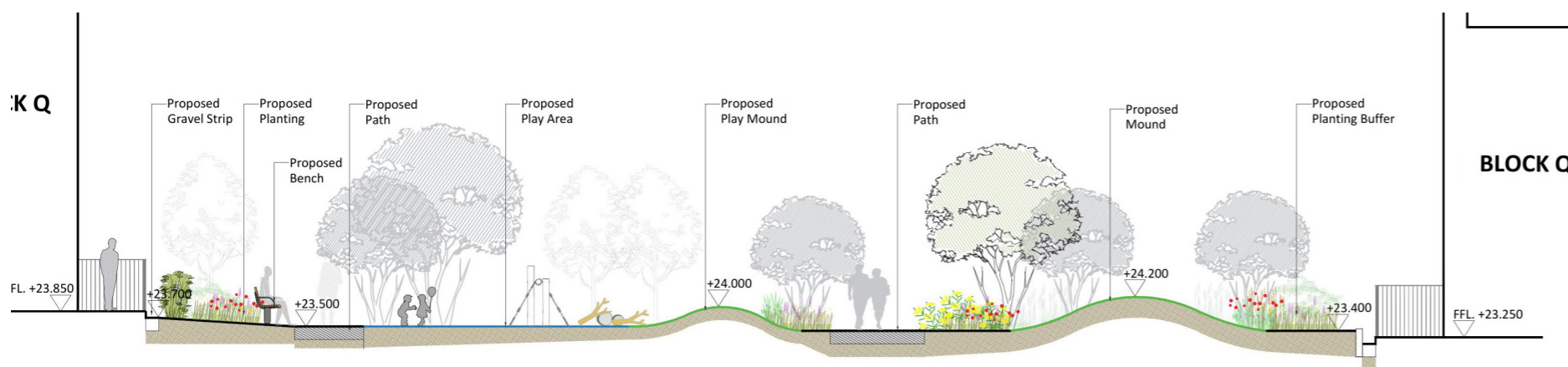


Fig. 4.6: Section Through Courtyard Block P



Fig. 4.7: Reference Courtyard Landscape Images

## 04.3 ROOF TERRACE LANDSCAPE- BLOCK Q



Fig. 4.8: Landscape Plan- Block Q Sixth Floor Roof terrace

- The proposed landscape treatment of the roof terrace in Block Q is informal with low-height landscape planters to accommodate ornamental shrub planting and modest multi-stem trees to create interest and increase usability of the terrace.
- Attractive seating areas have been integrated at intervals beside soft landscaping to create spaces that are interactive as well as enjoyable.
- The roof garden will also provide spectacular views over the coast and to the Wicklow mountains.



Fig. 4.10: Reference Roof Terrace Landscape Images

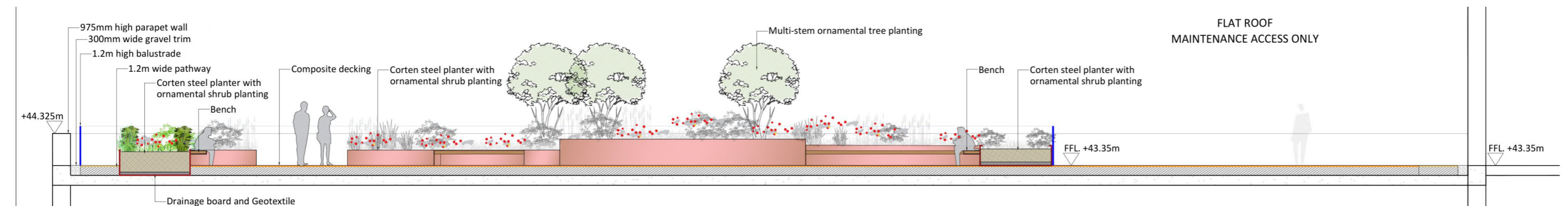


Fig. 4.9: Section Through Block Q Sixth Floor Roof Terrace

# 05 PLAY STRATEGY

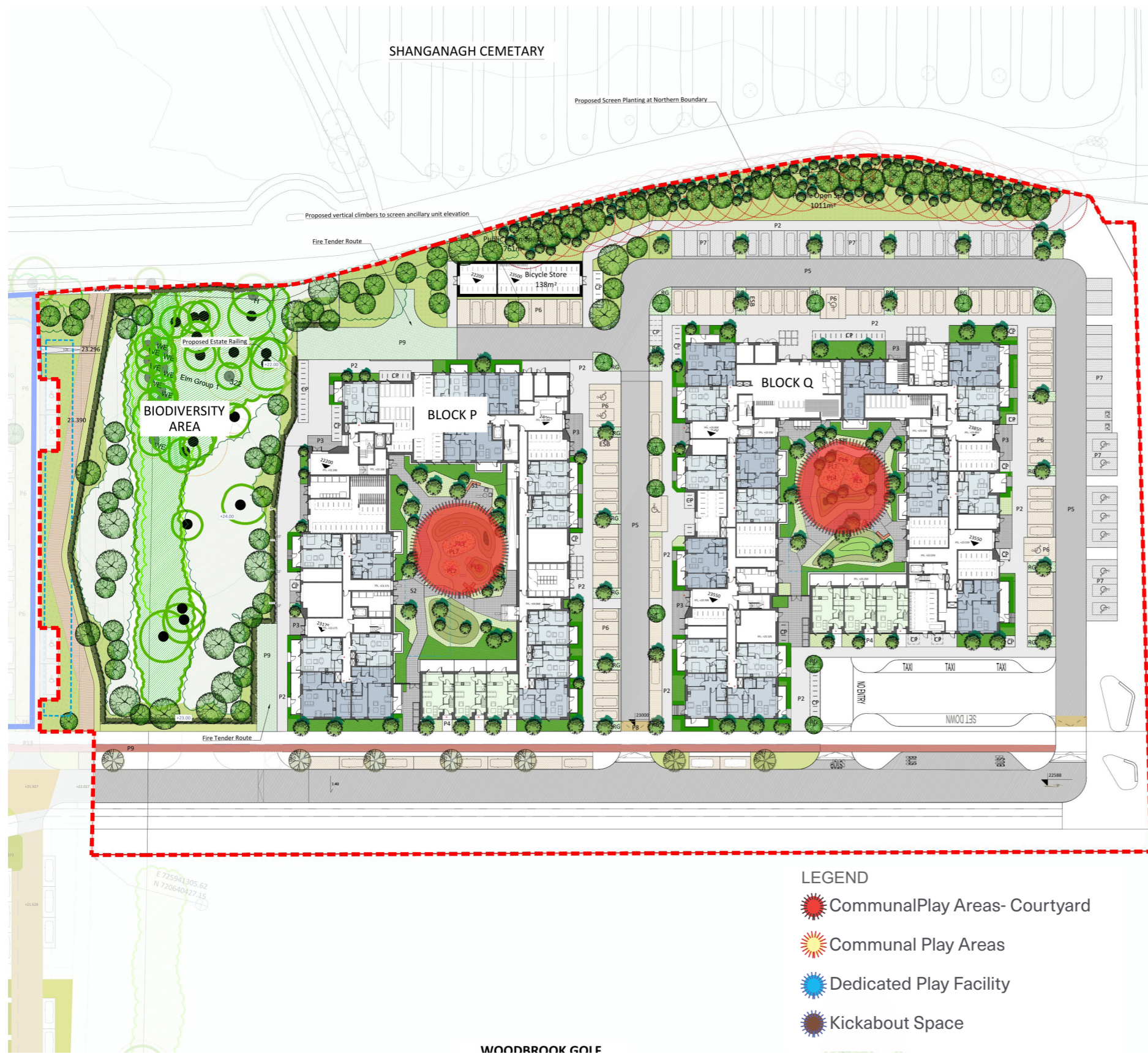


Fig. 5.1: Plan showing play opportunities within the application boundary

- The play strategy includes play considerations for children as set out in Apartment Guidelines 2025 and DLR County Development Plan 2022-28.
- The play areas within the courtyards combine both physical play and social play in the form of suitable equipments and play spaces which enable interaction and inclusive play opportunities.
- A hierarchy of play opportunities have been proposed which interconnects the various play areas within the Woodbrook developments as well as pedestrian links to the larger communal play area in Shanganagh Park.



Fig. 5.2: Key Plan showing overall play provisions within Woodbrook Development

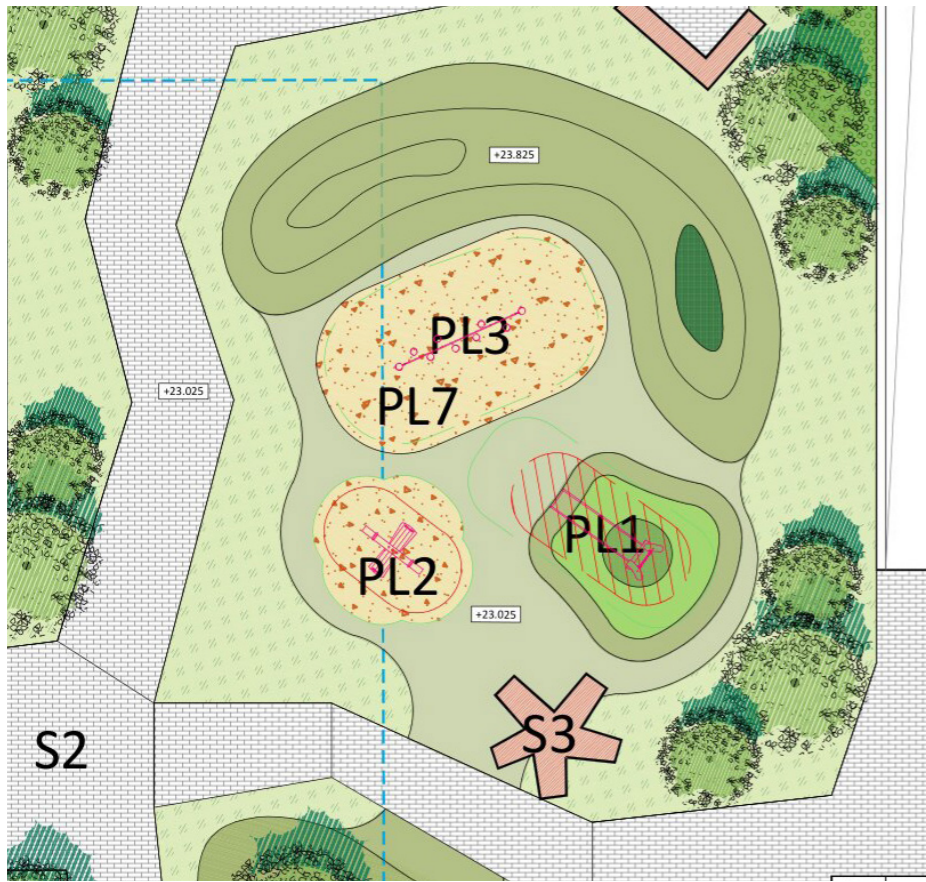


Fig. 5.3: Block P Courtyard Play Area

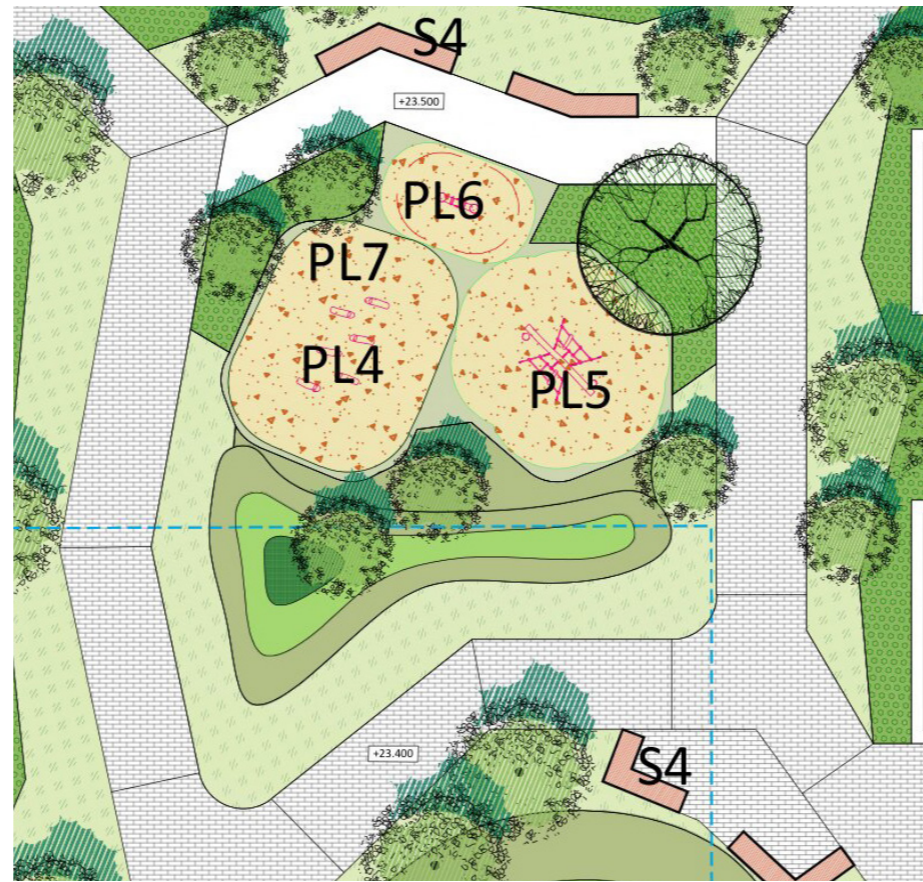


Fig. 5.4: Block Q Courtyard Play Area

- The provision of play is an important element in any landscape for use as communal space. It extends the usability of spaces and encourages residents to interact further with the outdoor environment.
- The play opportunities are integrated within the landscape in the form of embankment slides, balance posts with rope, up and over net, stilt, butterfly seesaw and double springer, as well as integrated seating and relaxation areas.
- The play spaces in each courtyard has dedicated surfaced play areas with surrounding low-contoured mounds and ornamental planting.
- The extent of play areas in Blocks P & Q are 153 sqm. and 90 sqm. respectively.

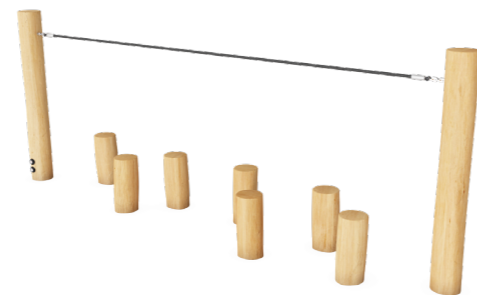


Fig. 5.5: Reference Images for Courtyard Play Equipment

## 06 BIODIVERSITY



Fig. 6.1: Plan showing biodiversity filter areas

- The Part 8 application boundary as well as overall development will have an enriched biodiversity including a variety of planting typologies in line with the All-Ireland Pollinator Plan.
- The northern section of the boundary will have proposed mix of tree planting with robust species serving both as screening from the Shanganagh Cemetery as well as haven to local fauna. The proposed planting is also aimed to improve the landscape visual quality along the northern public open space.
- The western part of the site comprises a Biodiversity Area, which has been protected throughout the planning and design of both the permitted Woodbrook Phase 2 development and the current Part 8 application. This area of scrub and woodland is the subject of regular ecological monitoring with inputs from both the DLR Biodiversity Officer and the local NPWS Conservation Ranger. The Biodiversity Area will continue to be protected and monitored throughout the construction of proposed Part 8 development, and the landscape design incorporates extensive planting and management, to ensure there will be no impacts on this area once the development is complete and operational.
- A hierarchy of drainage solutions have been proposed, in terms of bio-retention measures along homezone roads, permeable paving for sustainable facilitation of rainwater as well as attenuation areas for mitigation of stormwater runoff.
- A variety of green areas ranging from grass areas to planting proposal for native, ornamental and pollinator-friendly species have been seamlessly integrated within the communal spaces and homezone areas to enhance the biodiversity and resiliency of the proposed development.

## 07 NORTHERN BOUNDARY PLANTING



Fig. 7.1: Extract from Arboricultural Impact Plan showing existing tree condition

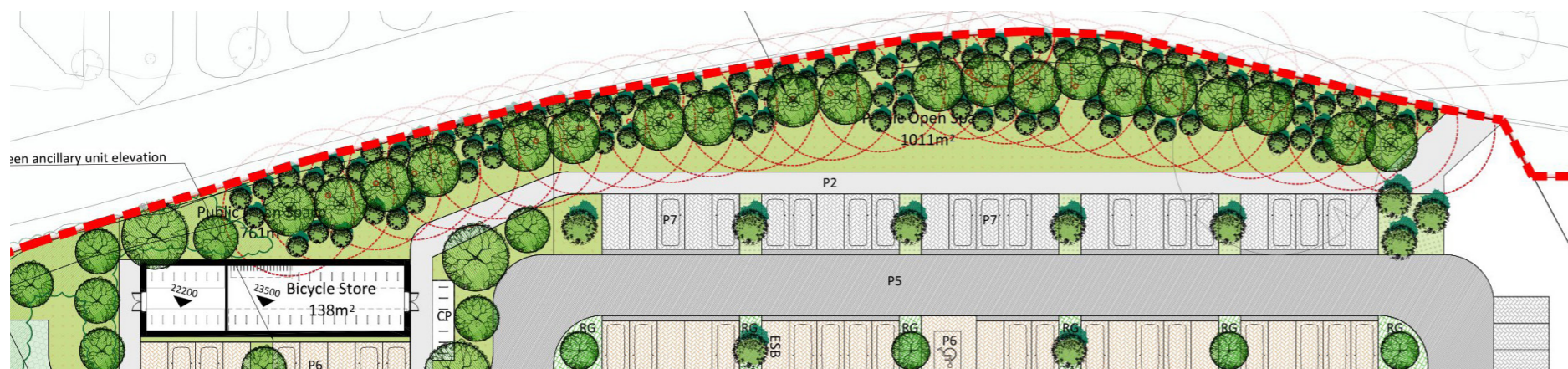


Fig. 7.2: Proposed screen planting at Northern Boundary

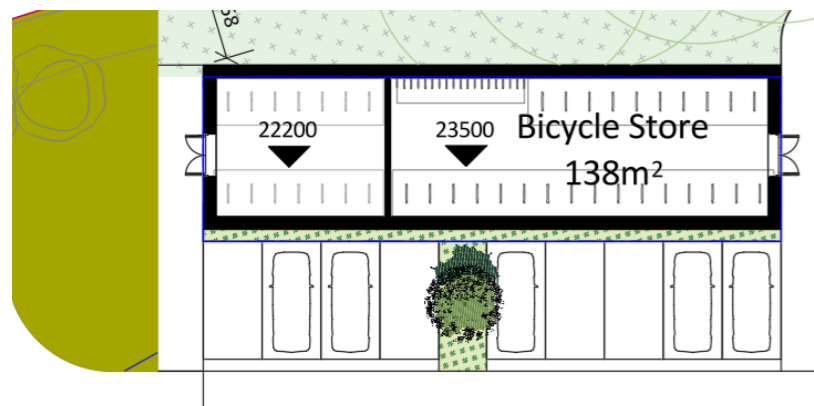


Fig. 7.3: Ancillary Bike Store Screening with vertical climbers

- The condition of existing Leylandii trees have been identified in the Arboricultural report as 'Dead, dying or otherwise compromised' in this Northern section, hence could be removed and replaced with a robust mix of suitable native species in the form of standard ornamental trees, semi-mature evergreen varieties and clusters of native sub-canopy planting.
- The existing Leylandii trees would be replaced on a staggered basis to ensure the screening effect from the overlooking cemetery is maintained over time.
- Planting proposal to include double-staggered rows of planting with native species (Hazel, Hawthorn, Holly, Field maple, Guelder rose), Semi-mature trees (Scots pine, Oak & Alder) and sub-canopy ornamental planting clusters (Strawberry, Rowan, Cherry Laurel & Maple).
- The proposal would also provide opportunity for the enhancement of local bio-diversity within the northern open space.
- The bike store unit elevation overlooking the apartments is further proposed to be screened by evergreen wall. A 500mm planting buffer is proposed between the store unit and car parking spaces along with suitable space for standard tree planting.

## 08 APARTMENT SCREENING ON-CURTILAGE

- A planting buffer of min. 900mm proposed for defensive planting with double-staggered native hedgerows is deemed sufficient for effective screening of ground floor unit. Proposed height approx. 1.3-1.8m on maturity and maintained accordingly to allow for visibility from the apartments.

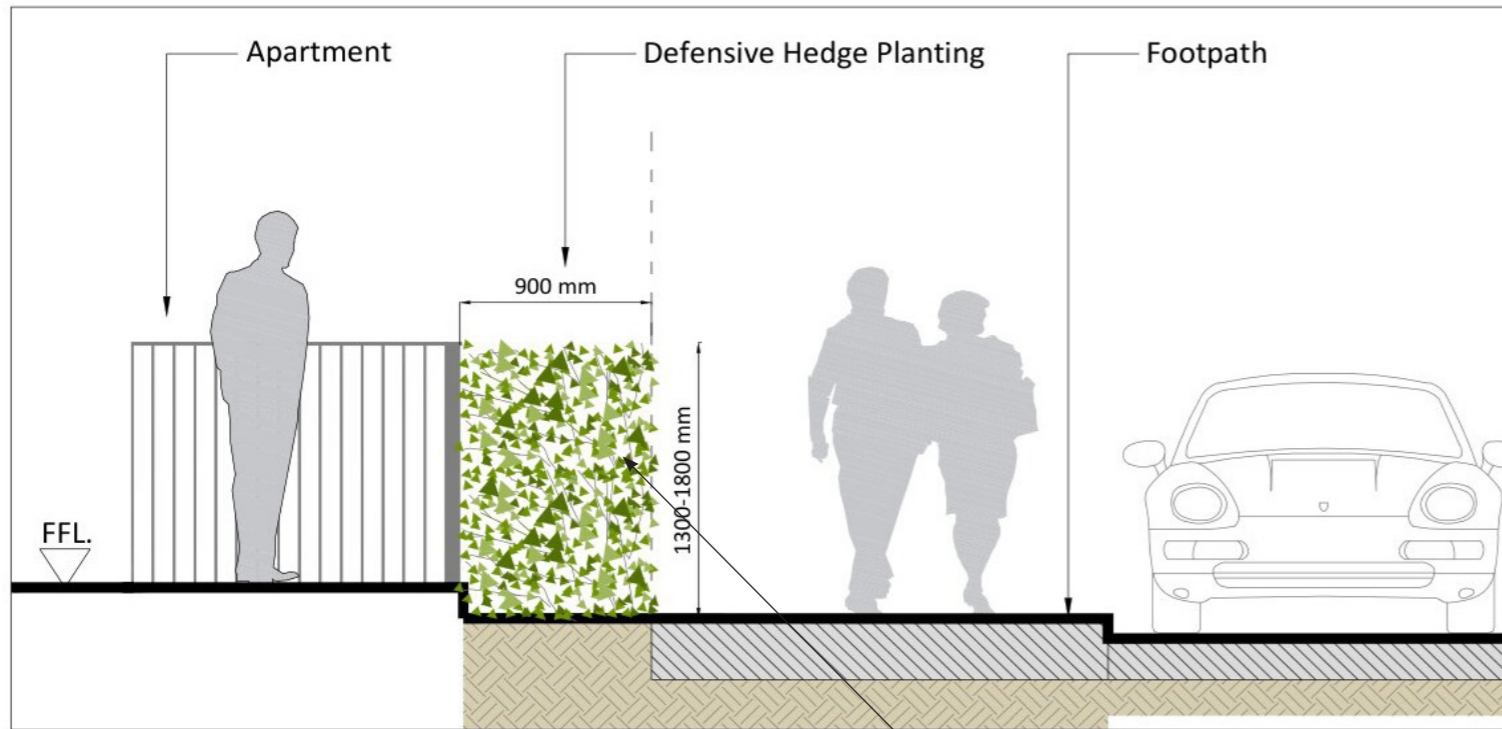


Fig. 8.1: Typ. section showing defensive hedgerow planting for screening

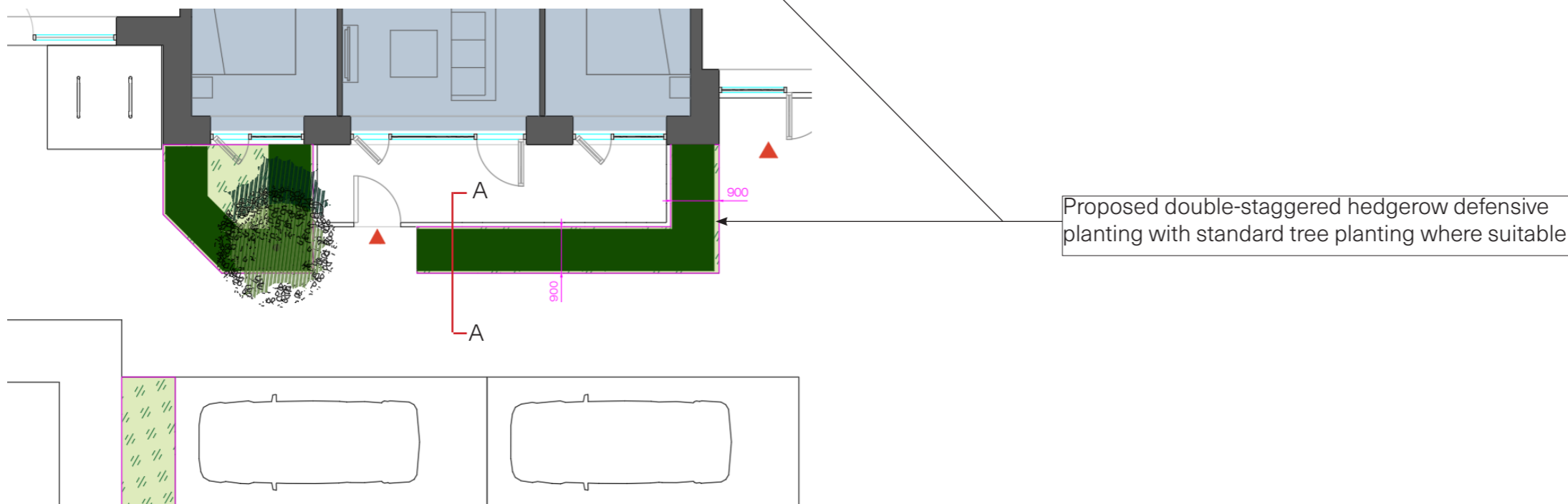


Fig. 8.2: Plan showing proposed apartment entrance landscape treatment