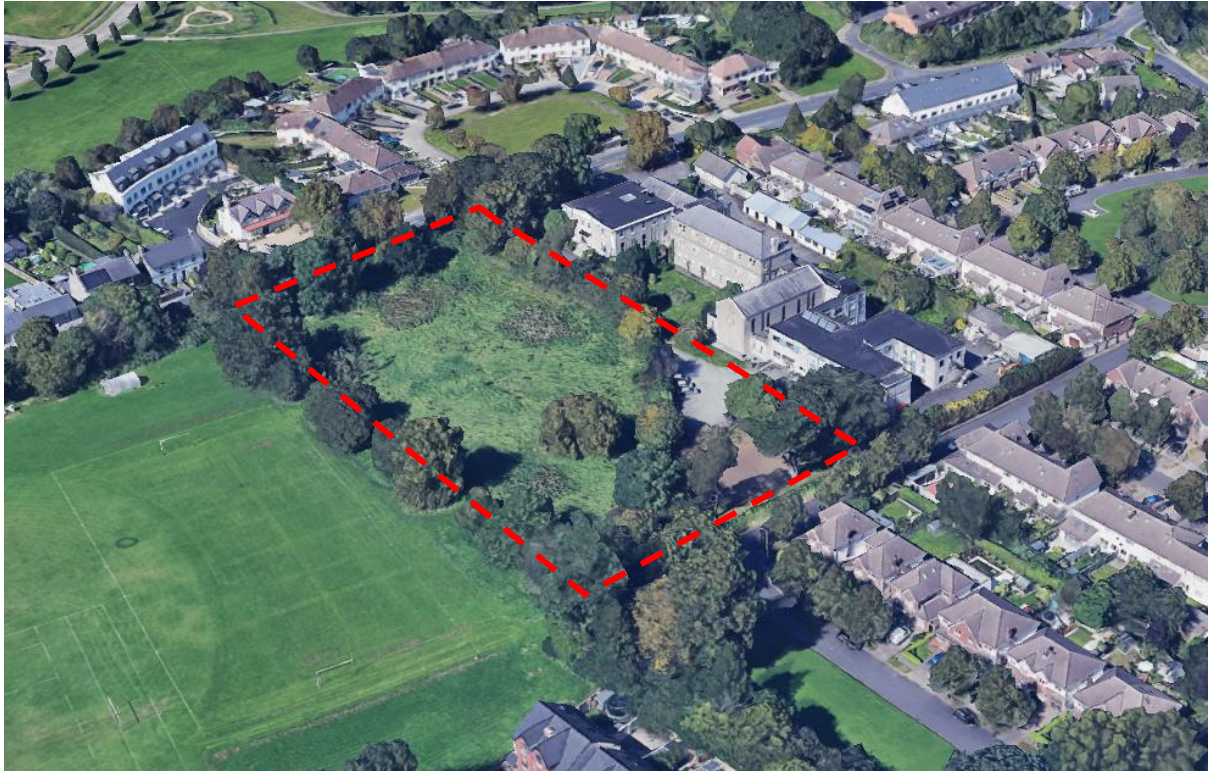


MOUNT ST. MARYS, DUNDRUM ROAD



ARCHITECTURAL HERITAGE IMPACT ASSESSMENT OF THE PROPOSED RESIDENTIAL DEVELOPMENT AT MOUNT ST MARYS, DUNDRUM ROAD

March 2025

Prepared by:

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1.00 Executive Summary

This Architectural Heritage Impact Assessment has been prepared by Chris Ryan, Conservation Architect, for Dun Laoghaire Rathdown County Council to support a development of 129 residential units and supporting facilities in the attendant grounds of Mount St Marys, Milltown, Co. Dublin

The site is in the attendant grounds of Emmet House, a Protected Structure. A brief photographic record is included in Appendix B with a historic background set out in appendix C.

This report will set out significance of the Protected Structure and the impact of the proposed residential units on the Protected Structure

The assessment should be read in conjunction with drawings and reports prepared by Reddy Architecture & Urbanism. (RUA)

Chris Ryan is an RIAI Accredited Grade I Conservation Architect, with over 40 years post graduate experience, working on conservation projects including Muckcross House, Killarney, Doneraile Court, Co. Cork, and Valentia Cable Station, Kerry. He acts as conservation consultant to the OPW, Westmeath County Council, Kerry County Council and numerous architectural practices and private clients. He holds a Masters Degree in Urban and Building Conservation (UCD 2003), and a post graduate Diploma in Advanced Building Repair and Conservation (TCD 2020).

I inspected the site on 10 October 2024 when it was sunny and dry.

2.00 DESCRIPTION OF THE SITE, THE BUILDING AND THE HERITAGE STATUS

2.01 Overview of the original site and setting

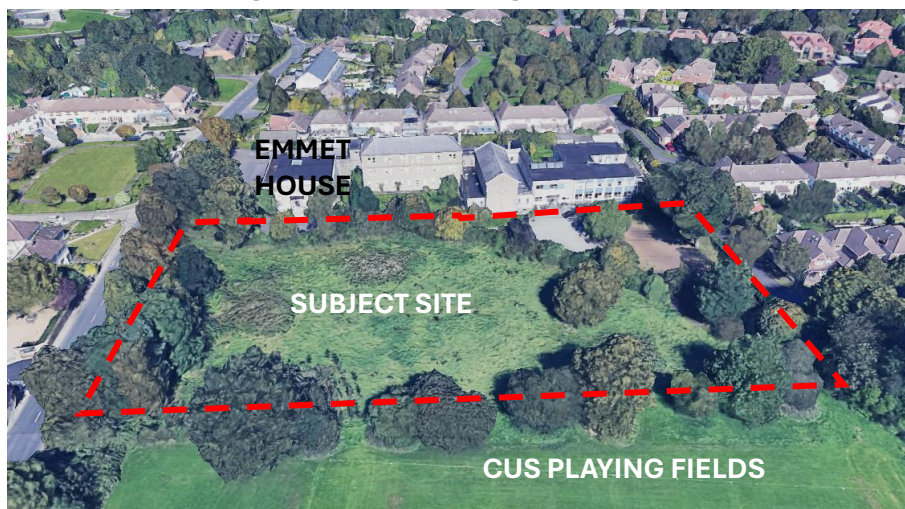


Fig. 1. Google Earth Image, viewed from the south

The original site was originally made up of the three portions; Emmet House and the c20 buildings erected by the Marist Fathers, the subject site which would have been used by the Seminary, and the lower CUS Playing Fields, which was given to the Catholic Church in 1955, and on which plot the Church of the Miraculous Medal was erected on Bird Avenue,

2.02 EMMET HOUSE (THE ADJACENT PROTECTED STRUCTURE).

A full photographic inventory of Emmet House was carried out in 2021 and is attached to this report as Appendix B. Since then, no works have been carried out by the owner

The house and grounds were purchased by Dr Robert Emmet in the late 18C. as a summer/country residence, with his main residence in Dublin’s Merrion Square. It is not clear whether the house was already constructed, though the name Casino, first appears on William Duncan’s map of 1821, suggesting a hunting lodge or summer residence.

The earliest map showing detail of the property is the 1837 OS map. The probable extent of the property is outlined here in orange.

The entrance from Bird Avenue had a sweeping avenue up to the House. Buildings to the rear were presumably stables and yard, with a large kitchen garden to the north-east.

A pathway flows inside the boundaries to the west and south, in a layout that accommodated the icehouse and summer houses, indicated in later maps.

Written details of ownership and occupants are given by Donal Kerr s.m., in his account from the 1970. The physical changes are set out in the various OS maps in the Cartographical Analysis in **Appendix D**.



Fig 2. Extract from the 1837 OS Survey

After the Emmets left the property in the early 19C, the next significant occupants were the Marists, who purchased the property in 1920. It was used as a seminary by the Marist Fathers until 2019 when the applicant came to agreement with the Fathers, and acquired the site to provide much needed housing. A proposal to demolish the 20C buildings built for the seminary was proposed in 2020 which included the construction of apartments on the east and south of the site.

The current proposal confines itself to the south portion of that site. Emmet House is not included in the subject site, though the subject site can be regarded as being included in the attendant grounds of Emmet House, a Protected Structure,



Fig. 3 View south from Emmet House

In his 2007 book, Peter Pearson describes Casino/Emmet House as:

“a large square house with a handsome portico of four stone columns, it once had an unusual viewing platform on the roof. The portico and windows were once ornamented with neo-classical, stucco devices, some of which have disappeared. The interior is plainly decorated but has an attractive semi-circular hall and large drawing room. It still has ... a fine view of the mountains which the Emmets must have once enjoyed.”¹

The viewing platform on the roof would most likely have had views over Dublin Bay.

Whereas most of the original vistas are now gone, the architects have arranged the development on site such that much of the existing vistas south have been retained.

Please note that the site boundaries shown in this report are indicative only. For precise legal boundaries, please see the architect’s drawings nos. *MSM-02-SW-ZZ-DR-RAU-100*.

The residential blocks, Middle House, Chapel and residences were built to the east of Emmet House by the Marists while they were in occupation in the c20. In the mid-1950’s the parkland to the south, ‘the lower field’, was given to the Catholic Church as playing fields and to build the Church of the Miraculous Medal on Bird Avenue.

¹ Pearson P., *Between the Mountains and the Sea*, O’Brien Press, Dublin 2007 (pg. 376)

2.03 SUBJECT SITE BOUNDARIES

Existing north boundary

No north boundary is proposed as the adjoining Emmet House and the 20C buildings are being retained and the whole site will act as a 'campus when completed.

Existing east boundary

The existing boundary is a brick pier and metal railings. No new boundary treatment except for potential entry and exit from the subject site and Churchfields. Details of the boundary treatment, landscaping, entry, etc. as shown on RMDA Drg. No.1 & drg. No.2 Boundary Plan.

Existing south boundary

The existing boundary treatment is a hoop topped metal fence. The existing boundary is being retained as shown on RMDA Drg. No.1 & drg. No.2 Boundary Plan

A bike shed with access from the underground park is proposed for the southwest corner. Details of the boundary treatment, landscaping, entry, etc. as shown on RMDA Drg. No.1 & drg. No.2 Boundary Plan.

Existing west boundary

This boundary is described in detail in Appendix A.

An assessment of the impact of the proposals on this wall is set out in Section 4.

3.00 HERITAGE STATUS & APPRAISAL OF THE PROTECTED STRUCTURE

STATEMENT OF SIGNIFICANCE

This section will seek to establish the significance of Emmet House, set out the design rationale for the proposals, justification for the approach, set out the mitigating factors and the assess impact of the proposals on the Protected Structure.

3.01 Criteria for Assessing Significance

Significance can be defined as the sum of the cultural values which make a building or site important to society. As well as the physical fabric, age and aesthetic value and more intangible qualities such as communal value, association with historic people and events and former uses are all important in defining the significance of a place. Cultural significance is unique to each place.

The following assessment considers the values outlined in Part V of the 2000 Planning Act and the Architectural Heritage Protection Guidelines for Planning Authorities, 2011 which recommends making assessments under the following categories: architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest. These characteristics have been considered when providing the assessments of significance in this section.

The impact of a proposal can then be assessed as either positive, neutral, negative, temporary, short-term, medium term and long term.

3.02 Dun Laoghaire Rathdown Development Plan 2022-2028 – Heritage Vision Statement:

11.1 Introduction

The overall policy thrust in relation to the protection of our shared heritage is not about preventing change - rather it is about providing the appropriate tools and mechanisms through the County Development Plan to manage change in a positive way, so that it enhances rather than diminishes the evolving character of the County.

12.1.2.2 Development within the grounds of a protected Structure

Any proposed development within the curtilage, attendant grounds or in close proximity to a Protected Structure has the potential to adversely affect its setting and amenity. The overall guiding principle will be an insistence on high quality in both materials and design which both respects and compliments the Protected Structure and its setting.

12.3.7.10 Institutional Lands

Where no demand for an alternative institutional use is evident or foreseen, the Council may permit alternative uses subject to the area's zoning objectives and the open character of the lands being retained. There are still a number of large institutions in the established suburbs of the County which may be subject to redevelopment pressures in the coming years. The principal aims of any eventual redevelopment of these lands will be to achieve a sustainable amount of development while ensuring the essential setting of the lands and the integrity of the main buildings are retained. In order to promote a high standard of development a comprehensive Masterplan should accompany a planning application for institutional sites. Such a Masterplan must adequately take account of the built heritage and natural assets of a site and established recreational use patterns. Public access to all or some of the lands may be required. Every planning application lodged on institutional lands shall clearly demonstrate how they conform with the agreed Masterplan for the overall site. Should any proposed development deviate from the agreed Masterplan then a revised Masterplan shall be agreed with the Planning Authority. A minimum public open space provision of 25% of the total site area will be required on Institutional Lands. This provision must be sufficient to maintain the open character of the site - with development proposals built around existing features and layout, particularly by reference to retention of trees, boundary walls and other features as considered necessary by the Council.

3.03 Architectural Heritage Protection Guidelines for Planning Authorities, 2011

The following objectives are set out in these guidelines.

- Established Conservation Principles:
 - Conservation work is based on an understanding of the building and its historical development. The primary aim is to retain and to recover the significance of the building.
 - Alteration can be carried out in accordance with the principle of ‘minimal intervention’.
 - Repairs to original fabric should be favoured over replacement. Where the replacement of an original element is unavoidable this is to be based on historically correct profiles and materials
 - Where elements must be re-constructed, the proposals to be historically correct and authentic and to avoid conjectural propositions.
 - Modern interventions to be reversible and where appropriate visually identifiable. New works to be recorded.
 - Works to be carried out by suitably skilled craftsmen with proven record in the trade of working with historic buildings.
- These policies and objectives have informed the decision-making process involved in the design of the proposals.

3.04 Attendant Grounds

Emmet House is listed on the Record of Protected Structures, but not the National Inventory of Architectural Heritage. The RPS lists Emmet House as ‘House’. No further detail was available for the Local Authority. Nothing further of special interest is listed associated with the attendant grounds of the Protected Structure. No detail description or appraisal of the house is listed in the Record of Protected Structures established by Dun Laoghaire Rathdown County Council.

The subject site is within the attendant grounds of Emmet House. Nothing of significance or of special interest as set out by Section 57 of the Planning Act (as amended) is recorded on the subject site nor in Ch 13 *Curtilage and Attendant Grounds* of Architectural Heritage Protection Guidelines for Planning Authorities 2011. Consequently, scope to carry out this project is facilitated further by sections of Ch 13 which were taken into account when preparing the design.

12.4.8.2 Visual and Physical Impacts

Vehicular entrances and on-curtilage parking should not normally dominate a property’s frontage. In areas characterised predominantly by pedestrian entrances and few, if any, vehicular entrances, proposals for driveways and on-curtilage parking will be assessed on their own merits but should be resisted. Applications for double-width entrances will normally be resisted.

Impacts on features like boundary walls and pillars, and roadside grass verges and trees outside properties will require to be considered, and entrances may be relocated to avoid these. Any boundary walls, entrance piers and gates and railings shall normally be finished to harmonise in colour, texture, height and size to match the existing streetscape.

There can be negative cumulative effects from the removal or creation of front boundary treatments and roadside elements in terms of area character and appearance, pedestrian safety, on-street parking, drainage and biodiversity – and these will be assessed in the consideration of applications.

Proposals for off street parking need to be balanced against loss of amenity (visual and physical) and will be considered in light of overall traffic flows and car parking in the vicinity.

The 2001-2018 Development Plan goes on the state:

12.11.2.3 Development within the Grounds of a Protected Structure

Any proposed development within the curtilage, attendant grounds, or in close proximity to a Protected Structure, has the potential to adversely affect its setting and amenity. The overall guiding principle will be an insistence on high quality in both materials, and design, which both respects and complement the Protected Structure, and its setting.

Any development must be consistent with conservation policies and the proper planning and sustainable development of the area. Considering recent changes to National Policy, (including the 20128 DHPLG, ‘Urban Development and Building Heights Guidelines for Planning Authorities’, a balance must be struck

RESIDENTIAL DEVELOPMENT AT MOUNT ST MARYS, DUNDRUM ROAD, MILLTOWN

between allowing compact development, while protecting the Architectural heritage and historic building stock within the County.

The Historic Environment and Architectural Heritage are addressed in the following Sections:

- *Section 2.8, states, “Historic environments can be sensitive to large scale and tall buildings. In that context, Planning Authorities must determine if increased height buildings are an appropriate typology or not in particular settings”.*
- *Section 2.10, states, “Notwithstanding the above, the provisions contained within Part (IV) Planning and Development Acts 2000, as amended, regarding architectural heritage and associated character/setting remain in place. Planning Authorities are the primary consent authority in establishing if proposals align with best practice in this area and which design standards are to be used in certain circumstances. Planning Authorities can reference Architectural Heritage Protection – Guidelines for Planning Authorities (DEHLG) and Shaping the Future – Case Studies in Adaptation and Reuse in Historic Urban Environments (DAHG) 2012”.*

The role of the Planning Authority is to have regard to National Policy, however, this must be done in tandem with other guidance and Policy, such as protection of the built heritage, which is enshrined in Part IV of the Planning and Development Act, 2000, as amended, and the Ministerial Guidelines that were issued to complement the Act in the form of the Department of Culture, Heritage and the Gaeltacht’s, ‘Architectural Heritage Protection Guidelines for Planning Authorities’, 2011.

Any proposal for development within the grounds of a Protected Structure will be assessed in terms of the following:

- *The proximity and potential impact in terms of scale, height, massing and alignment on the Protected Structure, impact on existing features and important landscape elements including trees, hedgerows, and boundary treatments. Any development should be sensitive of the relationship between the principal residence and its adjoining lands and should not sever this.*
- *Where a Protected Structure is part of a larger development then the phasing of the works needs to ensure that those relating to the Protected Structure take place early on, preferably first, or in tandem (as agreed by the Planning Authority), so that the conservation, and use of the Protected Structure is secured at the start of the project.*
- *Development proposals within historic landscapes and gardens shall include an appraisal of the existing landscape character to include identification and description of the structures, features, planting, and boundaries. This appraisal should be undertaken prior to the initial design of any development, as it will provide an understanding of the essential character of the site and help to inform the appropriate location for any development.*
- *Have regard to the development management criteria as set out in Chapter 3 of the Department of Housing, Planning and Local Government, (DHPLG), ‘Urban Development and Building Height Guidelines’; and shall indicate how the proposed development responds to its overall natural and built environment, and make a positive contribution to the urban neighbourhood and streetscape; ensure the proposal is not monolithic and avoids long, uninterrupted walls of building in the form of slab blocks with materials/building fabric well considered; ensure the proposal positively contributes to the mix of uses, and/ or building/dwelling typologies available in the neighbourhood.*
- *The retention of an appropriate setting for the Protected Structure to ensure the relationship between the building, associated structures, amenity value, and/or landscape features remain unaffected by the development.*
- *Impact of associated works including street furniture, car parking, hard landscaping finishes, lighting, and services. These should be designed using appropriate mitigation measures, such as careful choice of palette of materials, and finishes, and use of screen planting.*

All planning applications for development in proximity to a Protected Structure must be accompanied by a design statement, with supporting illustrative material, demonstrating how it has been developed having regard to the built heritage, topography, and landscape character of the site. An accredited conservation architect or equivalent should be engaged at the outset of the design process to assist in determining the appropriate siting of the development in order to minimise the impact on the Protected Structure. It may be of benefit to discuss specific requirements, at pre-planning stage.

All the matters set out above were borne in mind when preparing the current proposed development.

3.05 ASSESSMENT OF THE SIGNIFICANCE OF EMMET HOUSE

Emmet House was designed as a ‘Casino’, a small country villa, summerhouse, with a parkland to its south, entered by a long avenue from Bird Avenue. Emmet House has evolved over the years, its association with Robert Emmet, its use as a residence in the mid-C19, as part of a seminary by the Marists, and its current use by the Joint Managerial Body Secretariat of Secondary Schools. The setting of the house has been compromised and overshadowed by the C20 buildings erected by the Marists.

The following is an assessment of the significance of Emmet House and its setting using the criteria set out above.

ASSESSMENT UNDER PLANNING & DEVELOPMENT ACT (AS AMENDED).	
Emmet House: DLR Co. Co. - RPS No. 18 – ‘House’	
Architectural Significance	Originally a leisure house, with later additions and refurbishments. The portico and neoclassical devices remain and the ground floor interiors and plasterwork (which are not affected by the proposals) are worthwhile.
Historical Significance	Robert Emmet’s family house at the time of the 1803 rebellion in Ireland.
Archaeological Significance	None established.
Artistic Significance	None established.
Cultural Significance	It was used as a Marist Seminary for 100 years. Seminarians were then dispatched to England, Europe, USA and the Far-East. This can be described as an intangible aspect of the protected structure
Scientific Significance	None established.
Social Significance	Milltown was once a pleasure resort for Dubliners. Casino was would have been used as an adjunct to the Emmet family primary residence in Merrion Square.
Technical interest	None established.
Other:	None established.
Comment	No works are proposed to Emmet House. The curtilage of the House originally extended down to Bird Avenue, though this has long gone. There have been many changes to Emmet House over the years; Change of ownership, change of use of various parts of the original plot; subdivision of the site, all of which dilute the significance of the house and setting.

ASSESSMENT USING NIAH CRITERIA
<p>Possible Criteria</p> <p><i>High Significance is attributable to a theme, feature, building or space which has a high cultural value and forms an essential part of understanding the historic value of the site, while greatly contributing towards its character and appearance.</i></p> <p><i>Medium Significance is attributable to a theme, feature, building or space which has some cultural importance and helps define the character and appearance of the site.</i></p> <p><i>Low Significance is attributable to themes, features, buildings or spaces which have minor cultural importance, and which might contribute to the character or appearance of the site.</i></p> <p><i>Neutral Significance relates to themes, spaces, buildings or features which have little or no cultural value and neither contribute to nor detract from the character or appearance of the site.</i></p> <p><i>Intrusive Significance relates to themes, features or spaces which detract from the values of the site and its character and appearance.</i></p>
NIAH RATING: None as yet; possibly Medium

AUTHORS RATING: Regional Importance
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Table 1.-Assessment of Significance

4.00 DESCRIPTION OF PROPOSED WORKS & IMPACT ASSESSMENT

4.01 Scope of Proposed Works

No Demolitions are required to the subject site save to 2 boundaries with only minor removal to accommodate path on eastern boundary- northern and southern boundaries remain as is. More detail on this and other works are shown in RUA drawings. The Landscape Architect has prepared a proposal setting out trees to be removed and retained and is included as a separate submission.

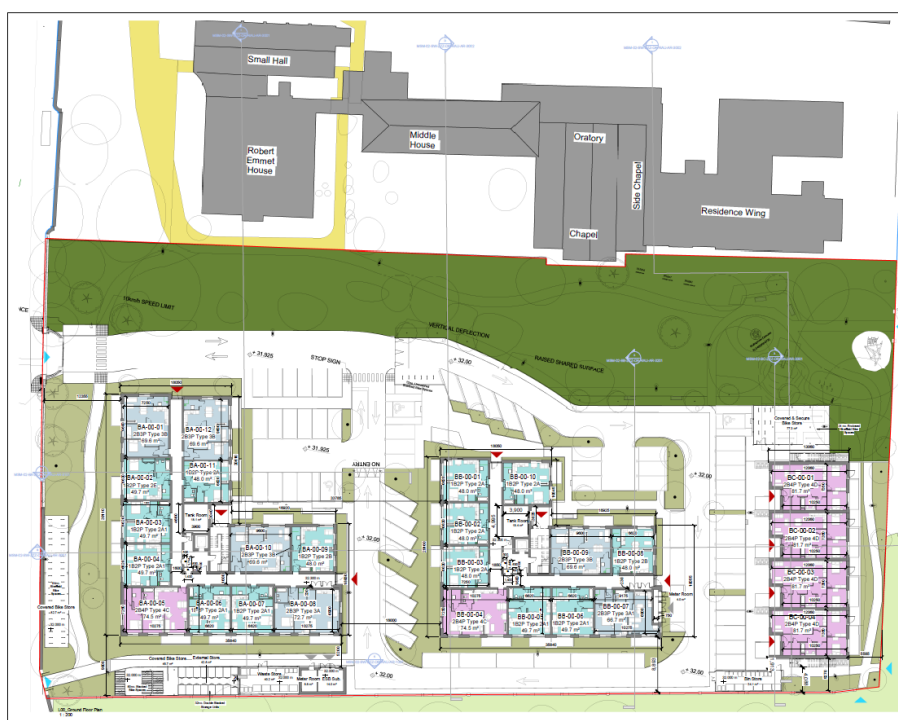


Fig. 4. Extract from RAU Drg. MSM-02-SW-L00-DR-RAU-AR-1020

The issues relevant to the heritage aspects of the site are:

- Construction of the new residential units
- Changes to the west boundary wall onto Dundrum Road, which will consist of the following:
 - ❖ Form new vehicular entrance onto Dundrum Road.
 - ❖ Form new pedestrian entrances in the existing random rubble wall.
 - ❖ Reduce the height of the random rubble wall as shown on the architects’ drawings and insert railings.
 - ❖ Carry out necessary repairs to the boundary walls in stone to match existing, all bedded and pointed in lime mortar.



Extract from RAU Drg. MSM-02-SW-ZZZ-DR-RAU-AR-2002

Fig. 5.

4.02 Works to the Existing Vehicular Entrance on Dundrum Road

The original wall to the Dundrum Road has been raised over the years, its height now probably associated with enclosing the seminary. The opening up of the site to the Dundrum Road will make Emmet House, for so long a secluded and remote building, more inclusive in the locality and will introduce a permeability for the Churchfields Estate to the east.

This is shown on RAU drg. No. MSM-02-SW-ZZZ-DR-RAU-2604

The condition of the boundary wall, its heritage value and the impact of these changes are set out in Appendix A.

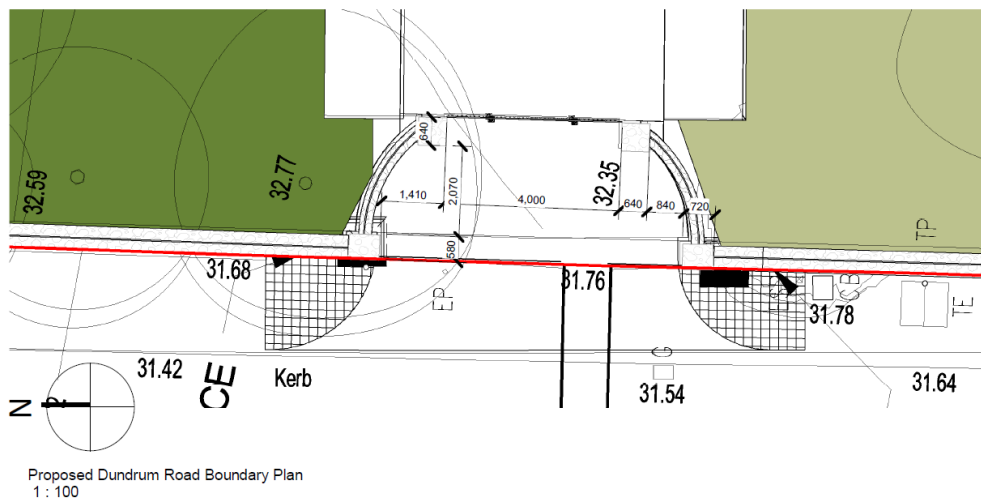
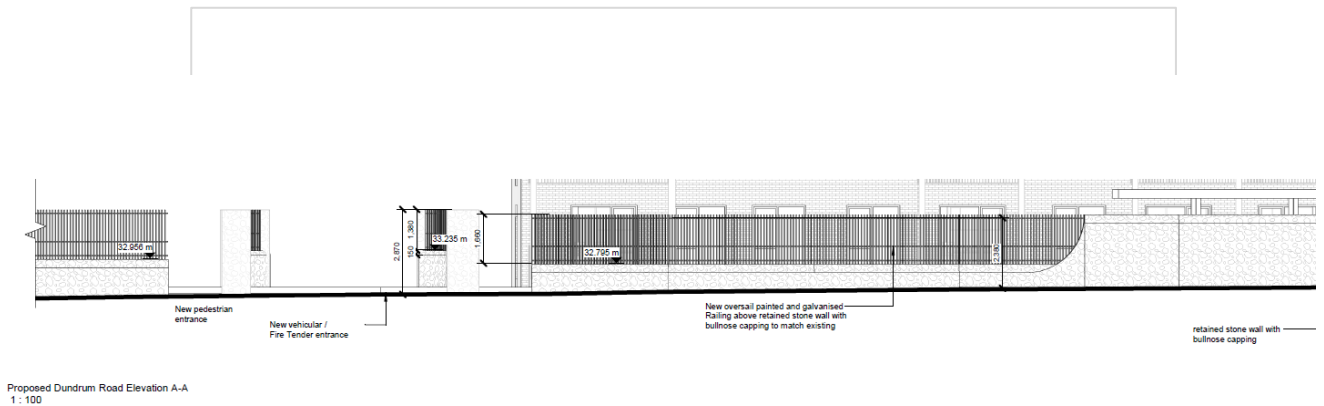


Fig. 7 Extract from RAU drg. no. MSM-02-SW-ZZZ-DR-RAU-2604

Views along Dundrum towards Bird Avenue.



Fig. 8 Existing boundary wall



Fig. 9 Proposed treatment of boundary wall

5.00 CHALLENGES, STRATEGIES, JUSTIFICATION, MITIGATING FACTORS

In this section the following issues associated with the current proposals are addressed:

- Challenges
- Impact on setting , significance and character
- Justification and mitigating factors

5.01 Challenges

The challenges associated with this type of proposal can be summarised as follows.

- Not to undermine the integrity and significance of the protected structure.
- Meeting the obligations of the various statutory requirements as set out in Section 2 above.
- Minimise the impact on the heritage asset.
- Strengthen the setting and significance and character of the Protected Structure.
- Ensure the use of traditional material on new works to the historic fabric.

No works are proposed to the Protected Structure. All new works are confined to the attendant grounds of the protected structure, and the works to the west boundary wall.

Design Rationale, Conservation Strategy & Impact

As no works are proposed to Emmet House itself, the design rationale and conservation strategy is centred on the setting of the Protected Structure and its boundaries and how to respond to these issues.

5.02 Justification

A primary source for guidance in these matters must be the Department of the Arts, Heritage and the Gaeltacht 'Architectural Heritage Protection Guidelines for Planning Authorities' (2011), and in particular Chapter 13.5 Development within the Curtilage of a Protected Structure.

7.2 Conservation Principles

7.2.2. *Entry into the Record of Protected Structures does not mean that a structure is forever frozen in time. Good conservation practice allows a structure to evolve and adapt to meet changing needs while retaining its particular significance. The challenge facing owners, planning authorities and all others involved in architectural conservation is to identify how and where change can occur and to ensure that the heritage is not damaged by inappropriate intervention. Additions and other interventions should be sympathetic to the earlier structure and of quality in themselves and should not cause damage to the fabric of the structure, whether in the long or short term.*

Further guidance on this issue is given in Dun Laoghaire Rathdown Development Plan 2022-2028

11.1 Introduction: *The overall policy thrust in relation to the protection of our shared heritage is not about preventing change - rather it is about providing the appropriate tools and mechanisms through the County Development Plan to manage change in a positive way, so that it enhances rather than diminishes the evolving character of the County.*

The works have also been designed in the taking into account all those statutory requirements in the International Charters, Irish heritage issues as set out in the various Planning Acts, and the heritage policies and objectives set out in the Dun Laoghaire Rathdown Development Plan. In this way the proposals respect the setting , character and significance of the Protected Structure.

6.00 IMPACT ASSESSMENT OF CURRENT PROPOSAL ON ADJACENT PROTECTED STRUCTURE

6.01 Protected Structure and its Curtilage:

The planning legislation gives protection to buildings included in the 'Record of Protected Structures', and the wording of the legislation extended the protection to include its 'Curtilage', the area of ground that is directly connected with the functioning or inhabitation of the structure.

The extent of protection is determined by the extent of the curtilage which may or may not have been defined by the Planning Authority. The only circumstance where the protection can extend beyond the curtilage is where the "attendant grounds" provision is used by the planning authority at the time of inclusion of a structure in the Record of Protected Structures. The attendant grounds of a structure are lands outside the curtilage of the structure, but which are associated with the structure and are intrinsic to its function, setting and/ or appreciation. In many cases, the attendant grounds will incorporate a designed landscape deliberately laid out to complement the design of the building or to assist in its function.

The notion of curtilage is not defined by legislation, but the Architectural Heritage Protection Guidelines for Planning Authorities guidelines states that for the purpose of the guidelines...

'It can be taken to be the parcel of land immediately associated with that structure and which is (or was) in use for the purposes of the structure. It should be noted that the meaning of 'curtilage' is influenced by other legal considerations besides protection of the architectural heritage and may be revised in accordance with emerging case law.' 13.1.1

It would appear that the description of the original listing does not mention any element of special interest within the curtilage or attendant grounds of Emmet House, and consequently any development within the curtilage or attendant grounds is not protected. However, nothing must be done to undermine the integrity of the Protected Structure.

Overview of whole proposal



Fig. 10 Extract from RAU drg. 2019-RAU-ZZ-00-DR-A-02100



Fig. 11 Extract from RAU drg.no MSM -02-SW-ZZZ-DR-RAU-AR-2102

The overall impact of this intervention as proposed will be beneficial and will enhance the setting of Emmet House.

6.02 POSSIBLE IMPACTS

There are two issues of heritage interest when assessing the impact of the current proposals

- Loss of historic fabric in the proposals for the boundary wall to the west.
- Impact of the apartments in the attendant grounds of Emmet House.

Physical Impact of the proposals on the significance of the Protected Structure

No works are proposed to Emmet House

Visual Impact

Photomontages have been prepared that show the visual impact of the apartments

It is clear that these show that there is minimal detrimental impact of the proposals on the Protected Structure.



Fig. 12 Extract from RAU drg.no MSM-02-SW-ZZZ-DR-RAU-AR-2102



Fig. 13 Extract from RAU drg.no MSM -02-SW-ZZZ-DR-AR-2103

Bulk & Massing

RESIDENTIAL DEVELOPMENT AT MOUNT ST MARYS, DUNDRUM ROAD, MILLTOWN

The apartments have been designed such that the wider end of each block is close to the boundary with the CUS Playing Fields, rather than to Emmet House.



Fig. 14 Extract from RAU drg.no MSM RAU-02-SW-ZZ-DR-A3001

In developing the designs, the architects have sought to:

- Maintain a good amount of the open space in front of Emmet House.
- Open up Emmet House to the public domain.
- Enhance the visibility of Emmet House by encouraging pedestrian movement through the development.
- Sympathetically treat the changes to the boundary walls to minimise the impact.

Emmet House was designed to be set in parkland. Much of the setting has been lost by encroaching developments. The landscaping proposals to the south and east will enhance the immediate setting of the house, giving it breathing space. The current proposal will open up onto a large area of landscaped open space, 25% of the proposed site, which retains much of the parkland feel to the front of Emmet House.

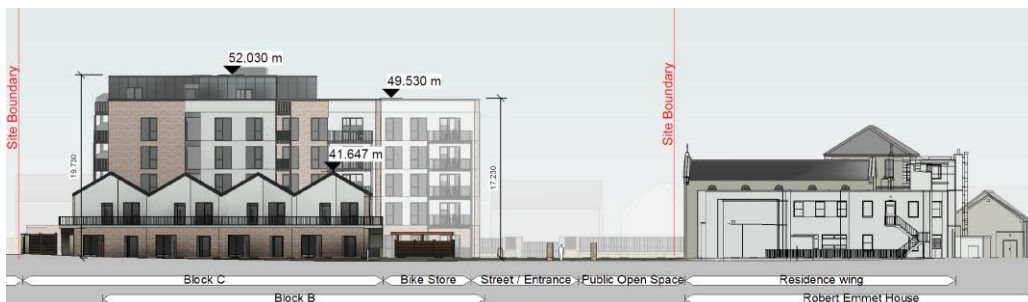


Fig. 15 Extract from RAU drg.no MSM-02-SW-ZZZ-DR-RAU-AR-2002

The opening up of the wall along Dundrum Road will change what was previously quite a reclusive site, making it much more visible to the public. The openings on the east side to Churchfields will increase the pedestrian permeability of the site, introducing it into the locale for the first time. It is the opinion of the writer that all these factors will improve the setting.



Fig. 16 Extract from RAU drg.no MSM RAU-02-SW-ZZ-DR-A3001

7.00 CONCLUSION

The complex of buildings at Mount St Marys has evolved since its construction in the late 18C. Casino, later named Emmet House, has also evolved and been extended, modified and refurbished over the years. However, much of the original character of the house has been retained. Emmet House is in separate ownership from the applicant for the subject site, though the proposed development could be said to be in the attendant grounds of the Protected Structure. No work is proposed to the House as part of the development currently proposed.

The proposed development is what might be regarded as the attendant grounds of Emmet House. But it appears that the original listing makes no mention of the attendant grounds, or any feature of special interest as might be defined by Section 57 of the 2000 Act (as amended).

However, as set out above, the development has been designed to minimise and adverse effect on Emmet House.

The changes to the boundary wall along Dundrum Road will increase the visibility of the site and in particular will open up Emmet House to the public for the first time. Conservation is about managing change and in the opinion of the writer the applicant has successfully retained the character and significance of Emmet House.

I believe that the proposed development is a good example of sensitive development of the site, does not undermine the character or significance of Emmet House and strengthens its setting. In my opinion, the architect's proposals cause minimal impact to the significance of the Protected Structure and is to be recommended.



.....
Chris Ryan, Dip. Arch., B.Sc. Arch., Dip.ABRAC., M.U.B.C., F.R.I.A.I.
RIAI Grade 1 Conservation Architect
6 March 2025

References:

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Kerr D, Ed. "Emmet's Casino and the Marists at Milltown" Society of Mary, Dublin 1970
Lewis, S., *A Topographical Dictionary of Ireland* London 1837
Pearson P., *Between the Mountains and the Sea*, O'Brien Press, Dublin 2007
Planning and Development Acts 2000-2018.
Architectural Heritage Protection Guidelines for Planning Authorities, DAHRRGA 2011

APPENDIX A
BOUNDARY WALL ONTO DUNDRUM ROAD

SCOPE OF WORKS, METHOD STATEMENT

Condition of the existing wall

- there is a mix of basic materials, mainly granite and calp.
- There is a mix of binders and pointing material; lime mortar and sand/cement mortar.
- the level of the wall has been raised resulting in Emmet House not now being visible from the road.
- The bedding and pointing at the base of the wall has been eroded by road salts.
- The quality of the workmanship in the original wall and in subsequent repairs is poor.

Appraisal of the boundary wall onto Dundrum Road

Whereas the wall is an attractive feature in itself, it is of poor quality. It uses different materials for both structural materials, bedding and pointing and part at the northern end has been fully rendered in s/c wet-dash. Along the section of the wall to be lowered, there are no distinct courses as one might expect, and the quality of basic masonry skills are absent.

The wall itself has little heritage value. Its heritage value derives from its function alongside Emmet House. This is now changing and the proposed opening up and railings will enhance the asset as the lowering of walls will make Emmet House more visible to the public.

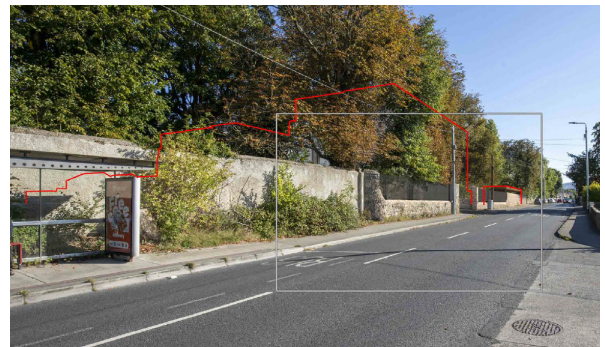
Retaining the wall as it is now would disconnect the proposed development from the locale, creating in effect similar to a gated development, losing the opportunity to expose the Protected Structure to a more public view. The proposal has as part of its raison d'être a green park.

Work to the Wall

New work will be carried out in accordance with best conservation practice, by skilled craftsmen, and will be consistent with the look and feel of the existing. Where possible, it will be constructed with distinct courses, using traditional materials. The emphasis will be on the re-use of the existing granite rather than the calp. An analysis of the mortar in the wall will be carried out. It might be assumed that this mortar will match the analysis in application D16A/0113 submitted by Shaffrey Associates, identified as Common Mortar. This would have used local materials as much as possible.



as existing



proposed pedestrian entrance

A primary source for guidance in these matters must be the Department of the Arts, Heritage and the Gaeltacht 'Architectural Heritage Protection Guidelines for Planning Authorities' (2011), and in particular Section 7: Conservation Principles.

7.2 Conservation Principles

7.2.2. *Entry into the Record of Protected Structures does not mean that a structure is forever frozen in time. Good conservation practice allows a structure to evolve and adapt to meet changing needs while retaining its particular significance. The challenge facing owners, planning authorities and all others involved in architectural conservation is to identify how and where change can occur and to ensure that the heritage is not damaged by inappropriate intervention. Additions and other interventions should be sympathetic to the earlier structure and of quality in themselves and should not cause damage to the fabric of the structure, whether in the long or short term.*

The role of conservation is about managing change, not preserving aspects that are no longer relevant. I would be grateful if we could discuss the issues further and come to an agreement for our final submission to ABP.

5.07 Brief Method Statement for works to the wall on Dundrum Road.

Carefully take down the section of wall indicated and set reusable stones aside for reuse.



Fig. 48. Sample view of existing random rubble wall to Dundrum Road



High quality masonry in a boundary wall in Dublin 1

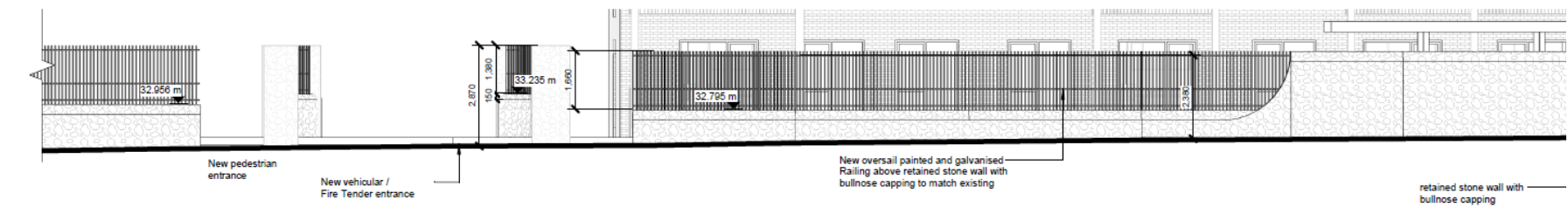
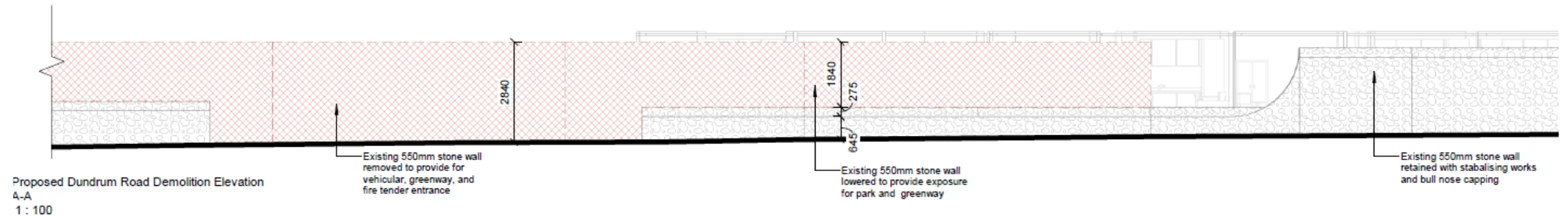
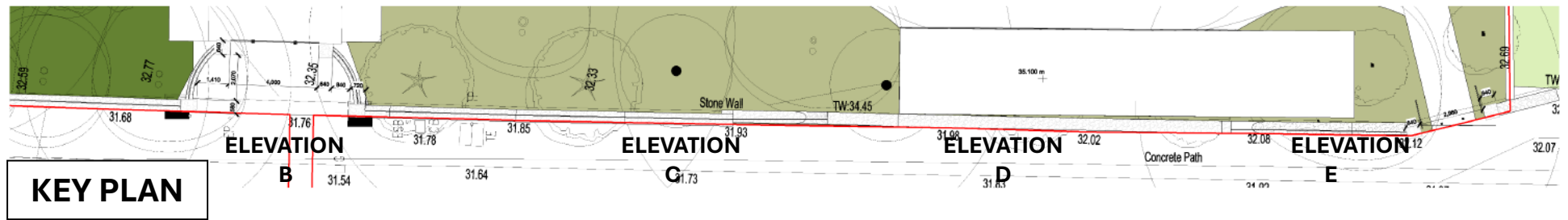
An analysis of the mortar in the wall will be carried out. It might be assumed that this mortar will match the analysis in application D16A/0113 submitted by Shaffrey Associates, identified as ‘Common Mortar’.
Form new capping to the wall as indicated above.

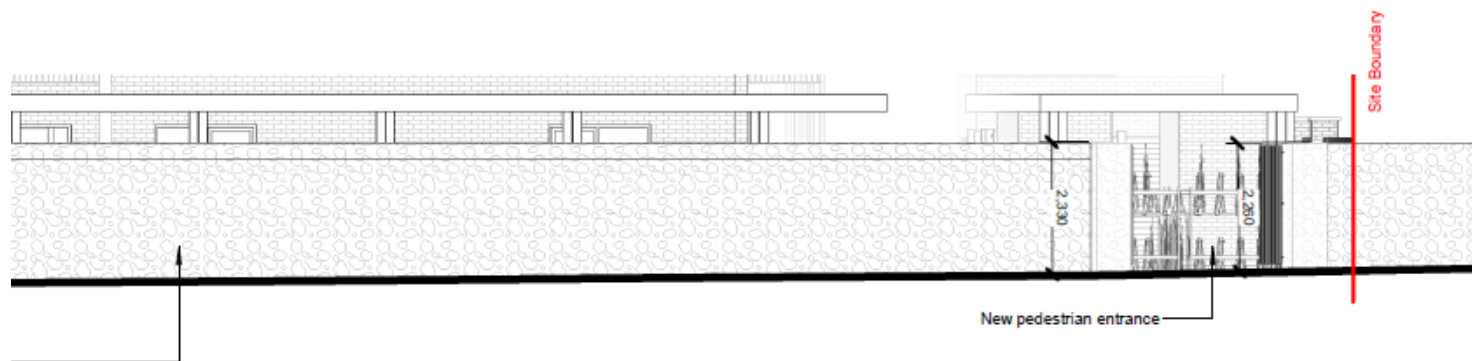
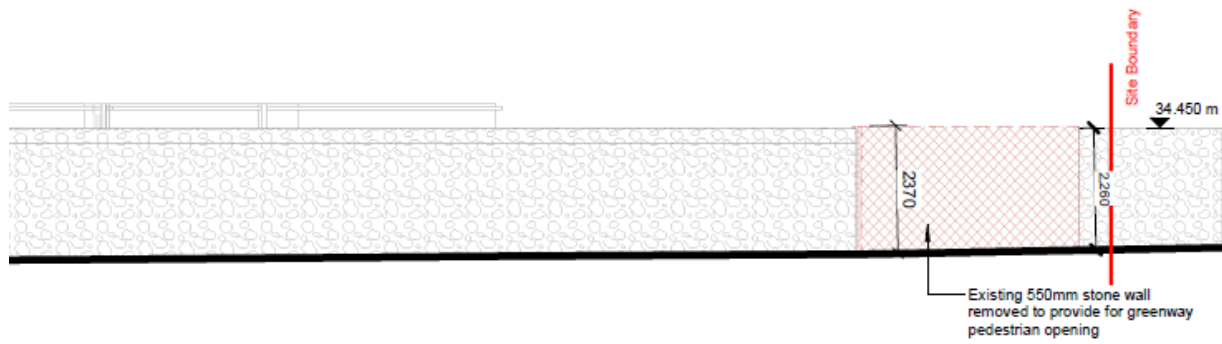
Consolidate any loose stones and replace any missing stones from this salvaged from the existing. These should be bedded in an appropriate lime-based mortar mix, to be determined following analysis of the existing mortars in the wall.

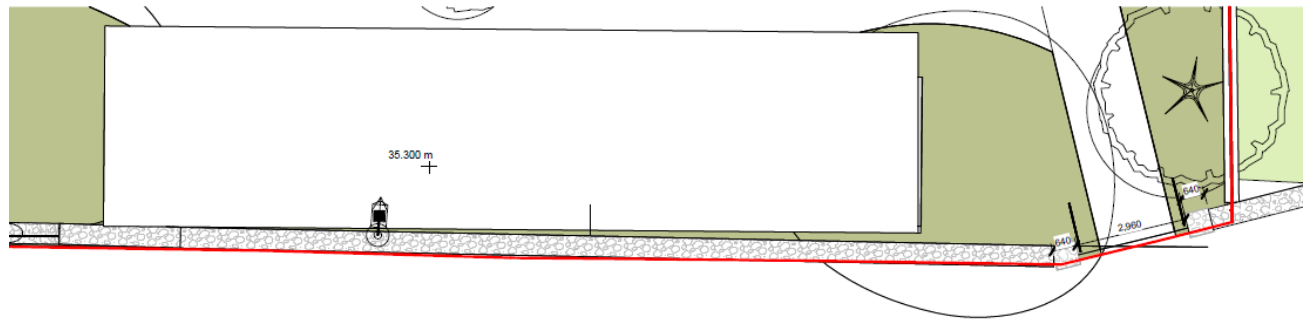
Where the existing walls are rendered, and any new openings formed, they should then be rendered in a lime-based render, again to be determined following analysis.

Existing rendered walls will be repaired and capped with stone capping to match elsewhere.

New work will be carried out in accordance with best conservation practice, by skilled craftsmen, and will be consistent with the look and feel of the existing. Where possible, it will be constructed with distinct courses, using traditional materials. The emphasis will be on the re-use of the existing granite rather than the calp.





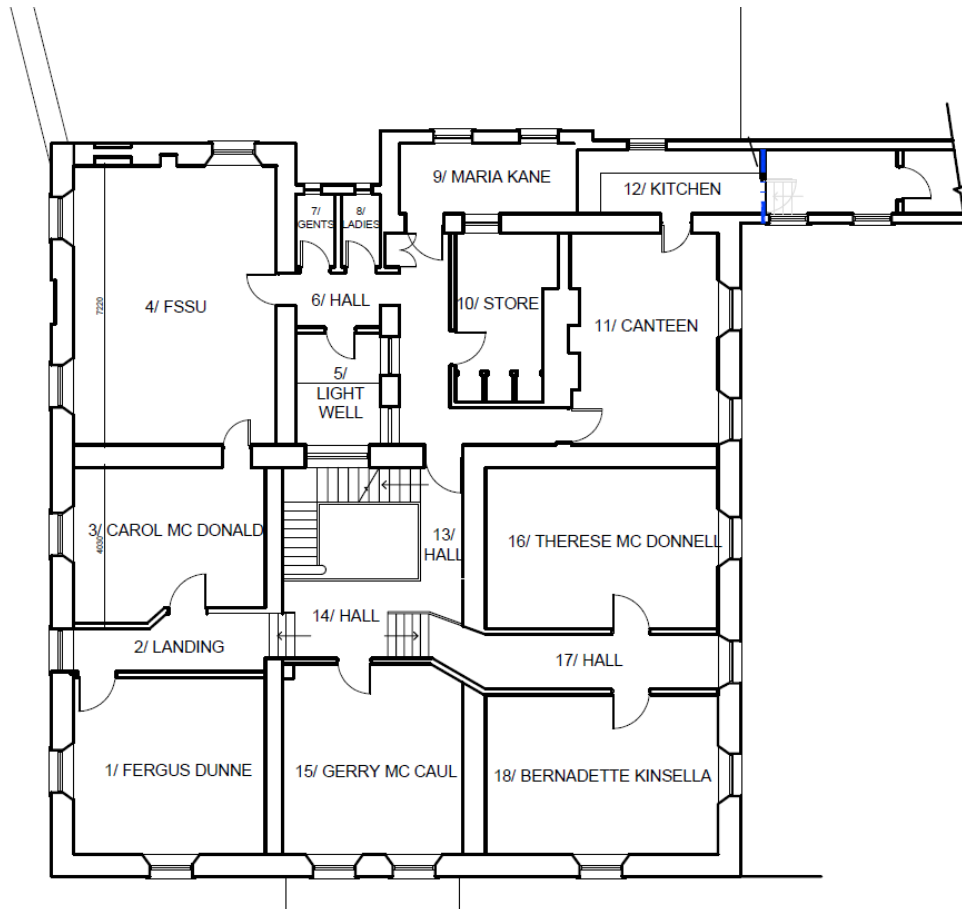


APPENDIX B

BRIEF PHOTOGRAPHIC INVENTORY OF EMMET HOUSE

This photographic inventory is from 2021. No substantial changes have taken place in the interim. The interior has been fully refurbished about 10 years ago. The layout of the principal rooms and decorative plasterwork to the cornices and ceilings has been retained.

FIRST FLOOR



FIRST FLOOR KEY PLAN

(room numbers used - room names may have changed).

Room 1



Room 3



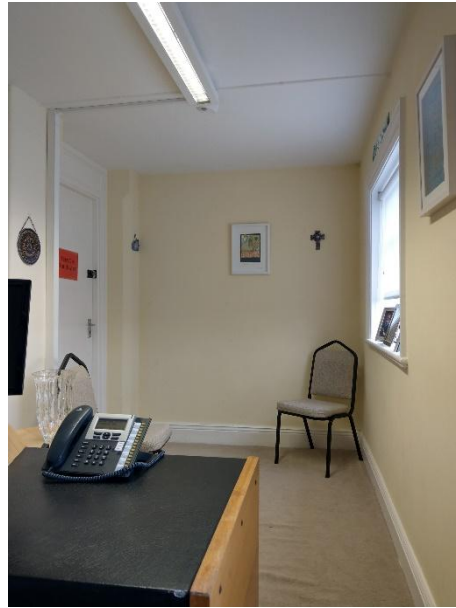
Room 4



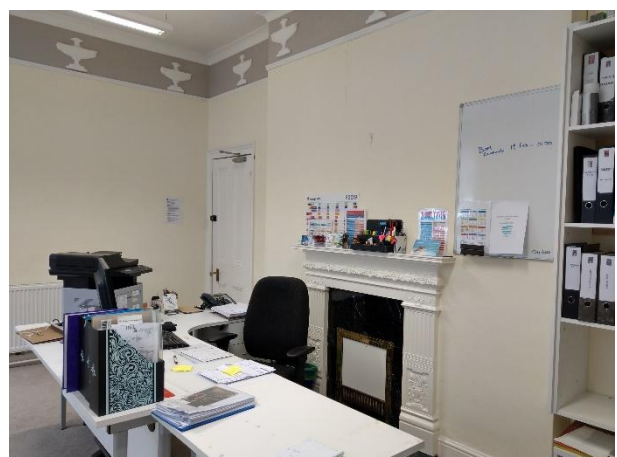
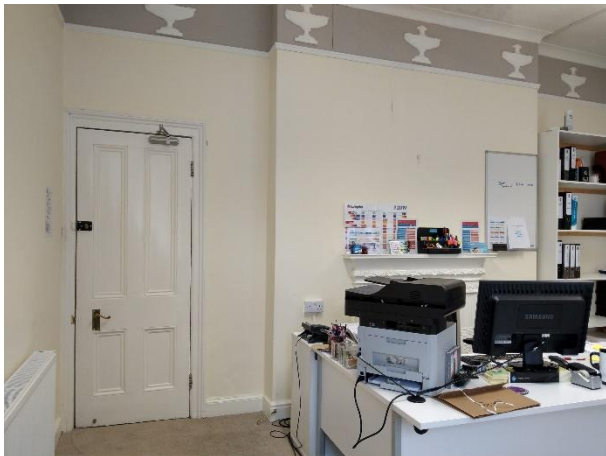
View into light well



Room 9 - Office



Room 11

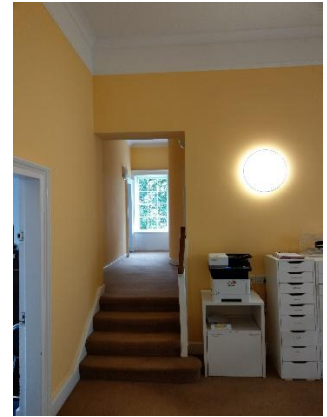




Room 12 – Kitchen/Store



14 – First floor landing and central stairs



Room 15 - Office

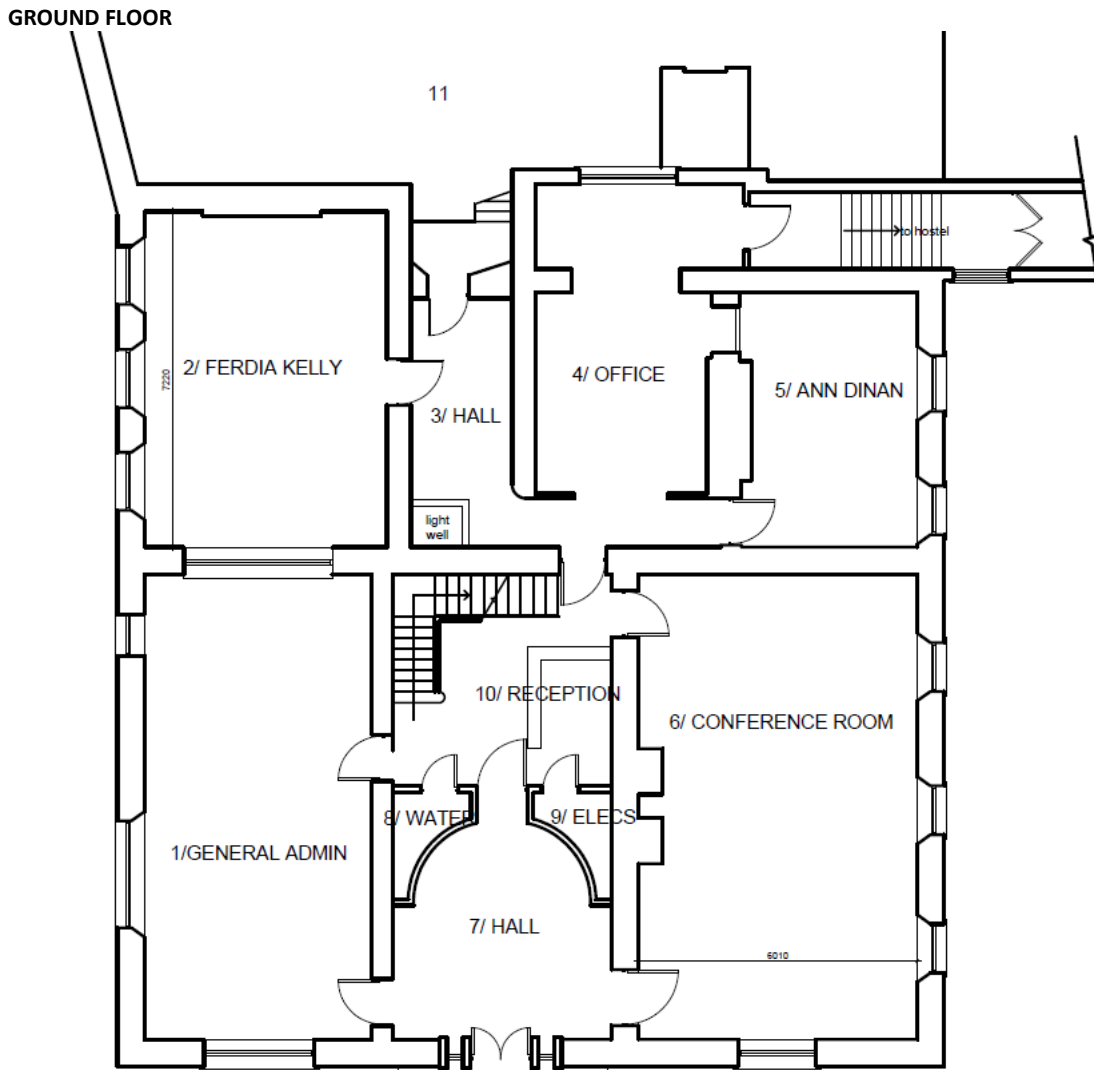


Room 16 - Office



Room 18 - Office





KEY PLAN OF GROUND FLOOR
(room numbers used - room names may have changed)

1. General Office



Room 2 - Office



Room 3 - Hallway



Room 4 - Office





Room 5



Room 6



Room 7 - Hall

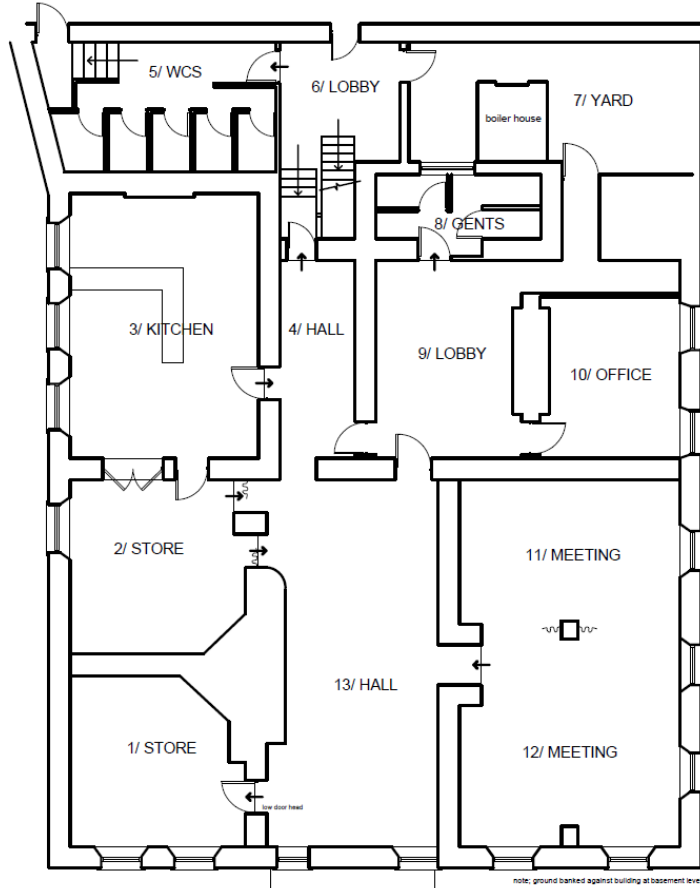
APPENDIX B – BRIEF PHOTOGRAPHIC INVENTORY OF EMMET HOUSE INTERIORS



Room 10 Reception

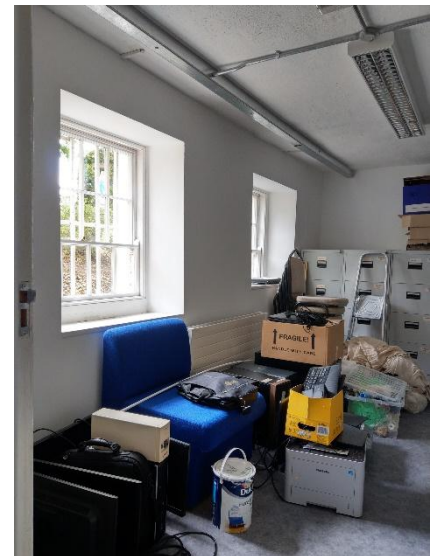


BASEMENT



KEY PLAN OF BASEMENT

(room numbers used - room names may have changed)



Room 1 – Store

Room 2 - Office



Room 3 - Offices



Room 6 – Lobby (half landing between ground floor and Basement)



Room 8 – Kitchen



Room 10 - Archive



Rooms 11 & 12

APPENDIX B – BRIEF PHOTOGRAPHIC INVENTORY OF EMMET HOUSE INTERIORS



Room 13 Dining



APPENDIX C
CARTOGRAPHIC ANALYSIS

APPENDIX C - CARTOGRAPHIC ANALYSIS OF THE SITE AND BUILDINGS



Fig. 29. Rocque 1760 (Ferguson P, Ed. The A-Z of Georgian Dublin, TCD 1998)

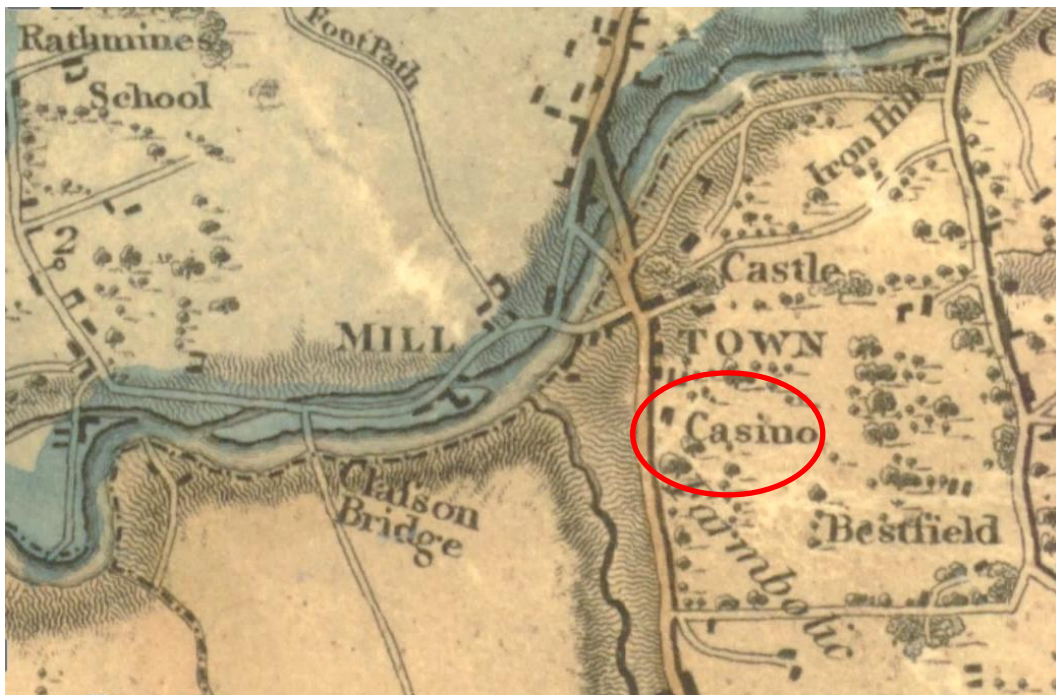


Fig 30. William Duncan Map of the County of Dublin 1821 (Map Collections at UCD and on the Web: Historic Maps of Dublin)

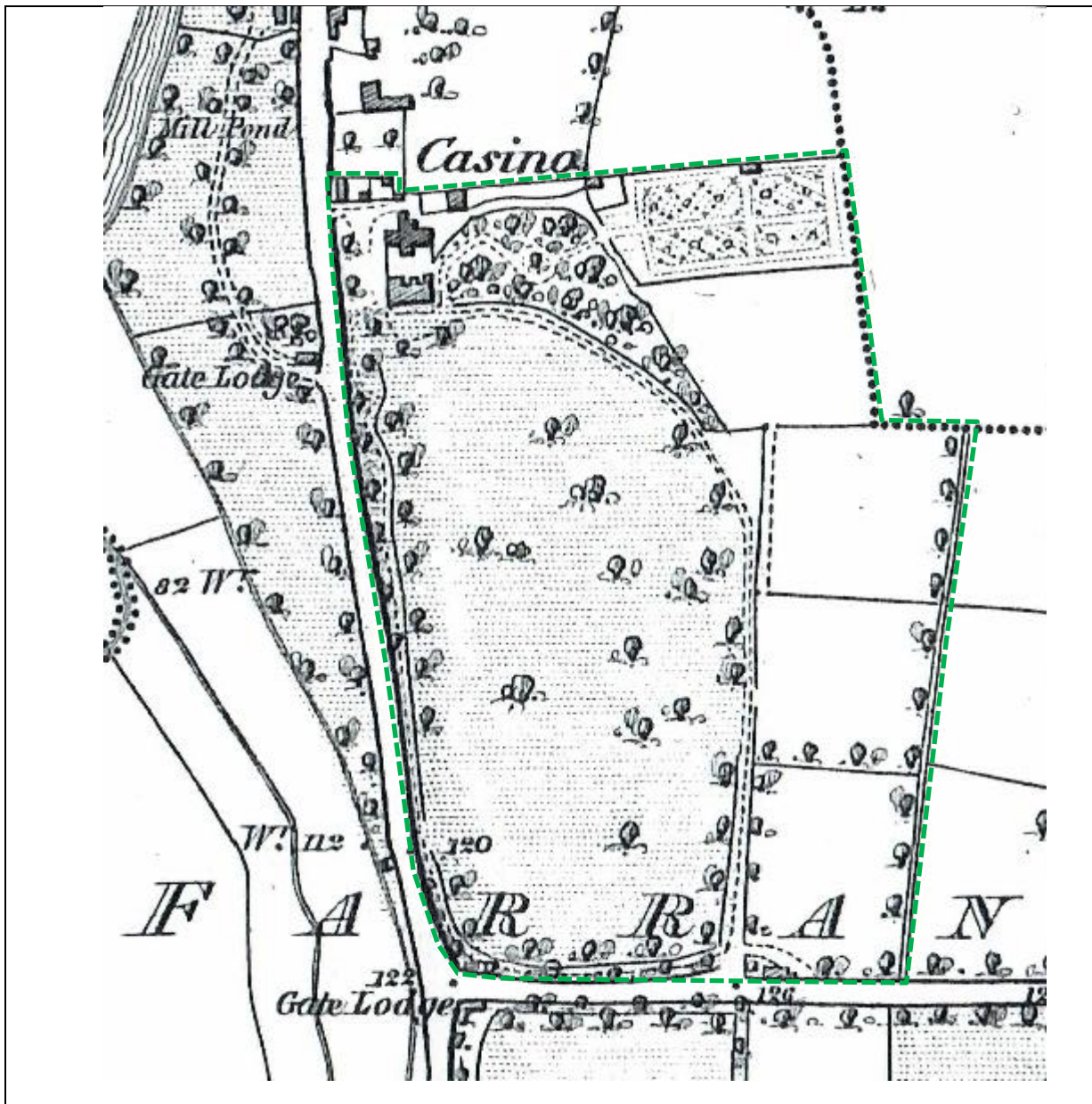


Fig 31. Ordnance Survey Map of County Dublin Sheet 22 scale 1:10,560 Surveyed 1837-43 Published 1843

- This is the first Ordnance Survey map of the site and buildings. The probable boundary to the Casino property outlined in green.
- The Bird Avenue entrance is shown with a gate lodge at the entrance
- The avenue skirts the right-hand edge of the parkland in front of the house, showing off the house as one approached it.
- The House is shown with a wooded area to the east shielding a walled garden in the north east corner. The avenue continues past the front of the house and continues to a series of building to the rear, presumably stables and yard.
- There is an entrance from Dundrum Road shown into the yard.
- A pathway is shown around the west and south boundaries, past what are identified on later maps as an icehouse and summer houses.
- Thom's Directory 1847: listed as occupants:
Js. Dillon Meldon, solicitor, Casino.

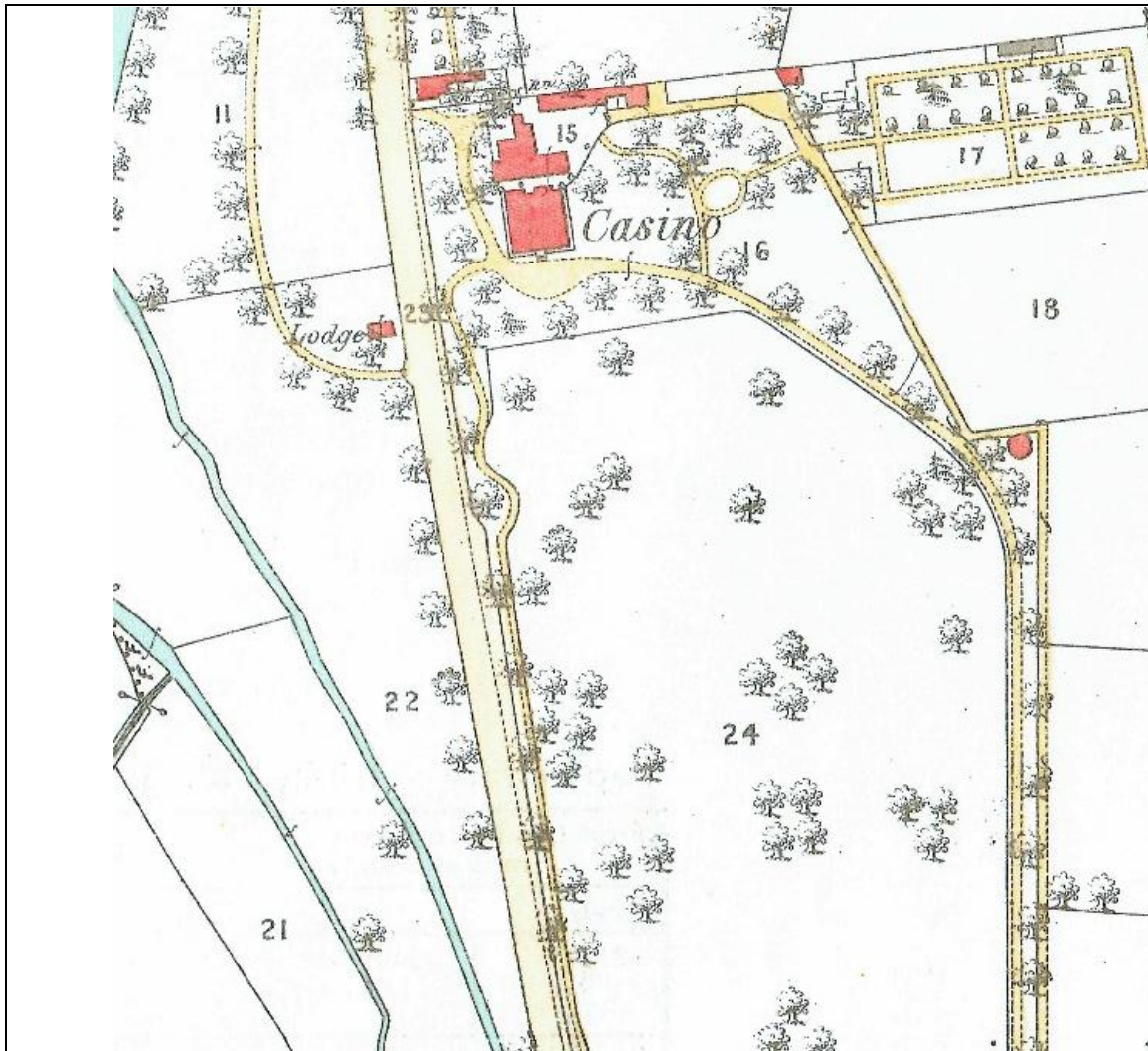


Fig 32. Ordnance Survey Map of County Dublin Sheet 20-04 scale 1:2,500 Surveyed c1866 Published c1866

- In this map, approx. 30 years after the previous map, the house is shown extended.
- The wooded area to the east of the house shown in the previous map is now shown with a regular pathway, suggestion it might have been used for recreation.
- A circular structure, identified in later maps as a summer house, is shown at the bend on the entrance avenue.
- A pathway is clearly shown from the summer house to the yard and the kitchen garden to the east of the house.
- Thom's Directory 1866: : listed as occupants:
 - Meldon, Charles, Barrister, Casino and 3 Fitzwilliam Street Lower
 - Meldon, Jas Dillion, Solicitor, Casino.
 - Meldon, Jas F, Solicitor, Casino.
 - Meldon, John J, Solicitor, Casino.

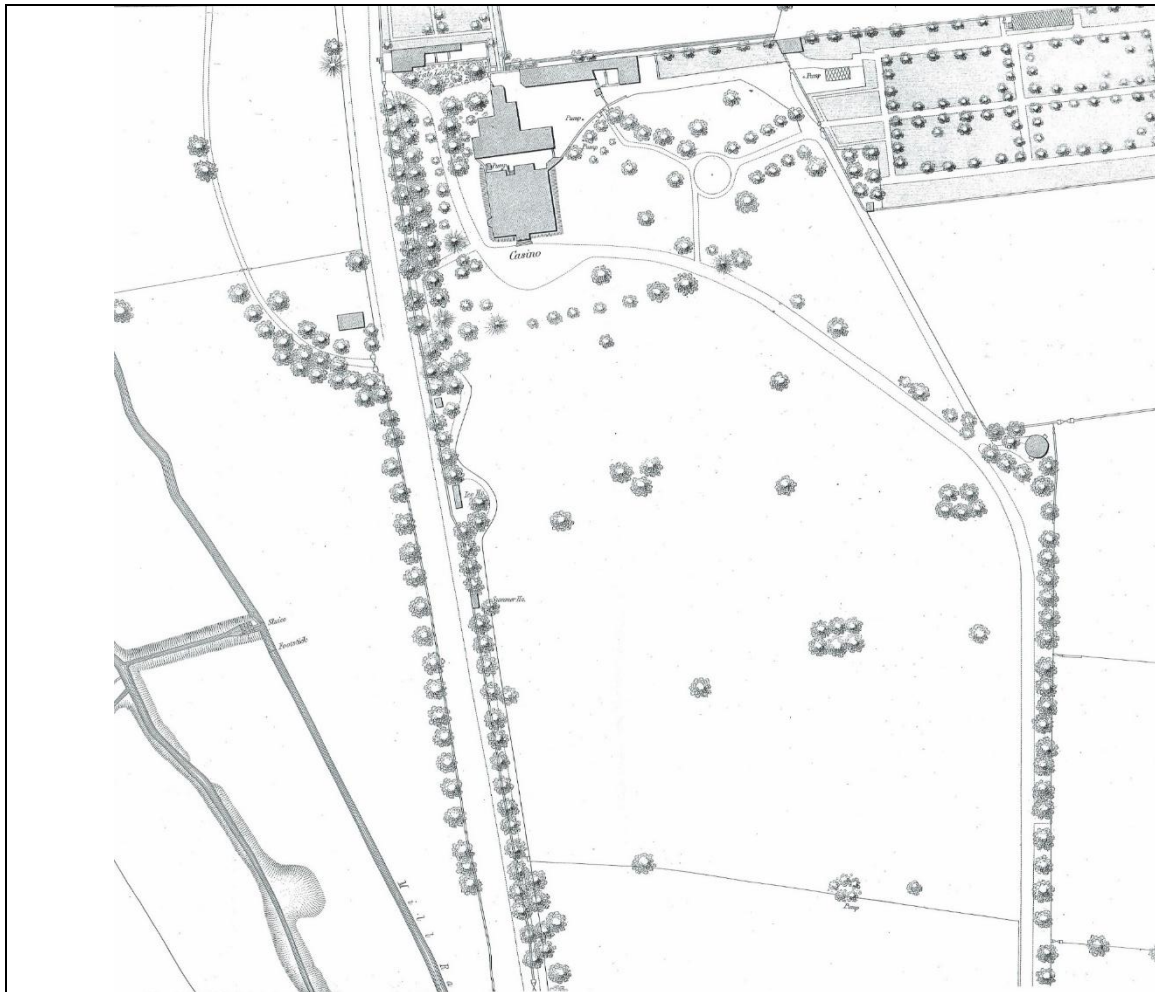


Fig. 33. Ordnance Survey Map of County Dublin Sheet 22-28 scale 1:1,056 Surveyed c1882 Published 1882

- There is little change to the House from the earlier map.
- An icehouse and summer house are indicated on the western boundary for the first time, though they might be inferred on the earlier maps from the similar path layouts to this map.
- The stable building on the northern boundary shows a chamfered corner, similar to its current configuration.
- An entrance is shown at the back of the building onto Dundrum Road.
- Thom's Directory 1882: listed as occupants:
 - Harty, Henry L, esq. Coroner Co. Dublin, Casino.
 - Harty, Allsopp F, esq.
 - Harty, Lionel L, esq.

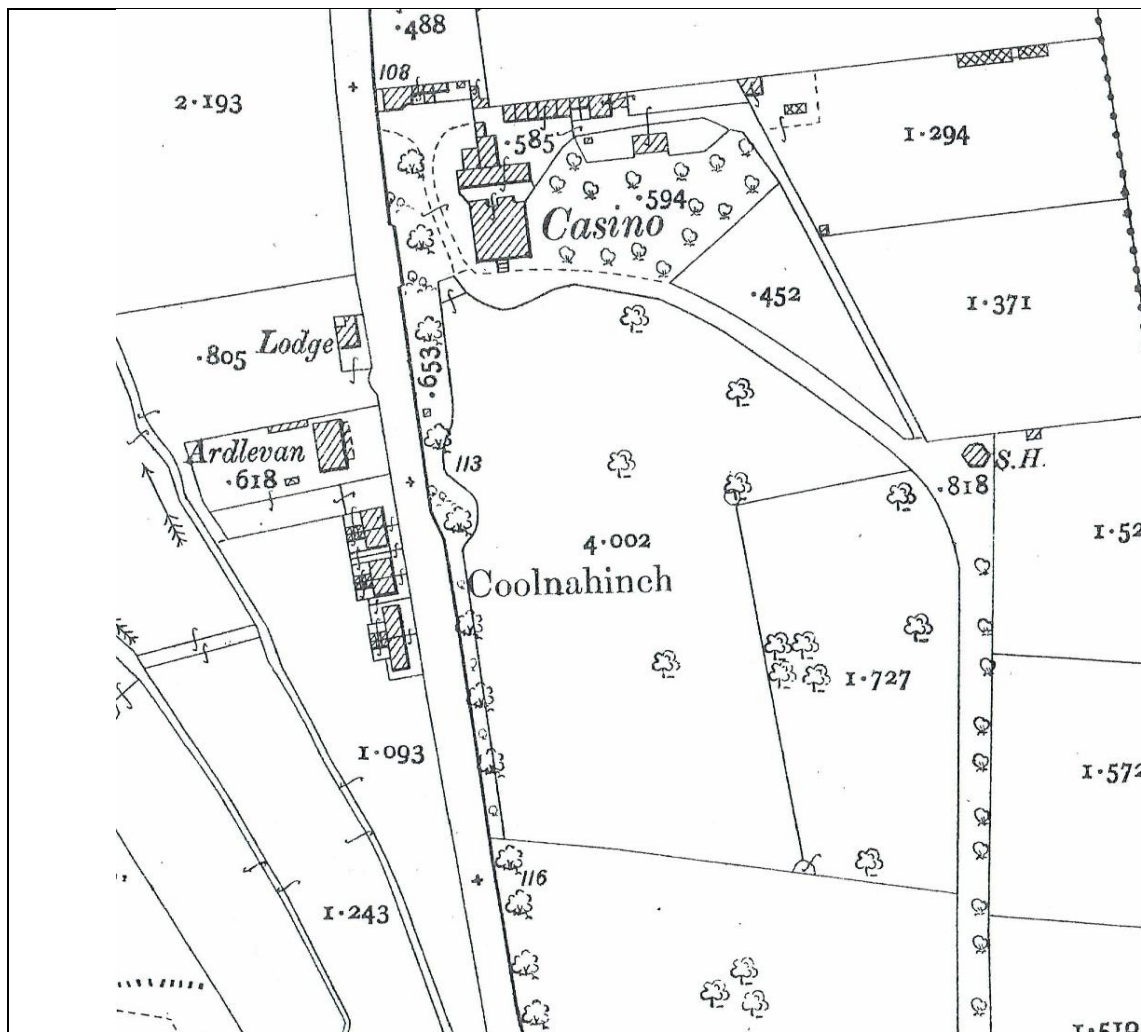


Fig. 34. Ordnance Survey Map of County Dublin Sheet 20-04 scale 1:2,500 Surveyed c1908 Pub. c1911

- There is less detail in this map than the previous one.
- The area to the east of the house and avenue has been cleared of trees.
- An area to the west of the avenue from Bird Avenue, (area 1.727), has been enclosed, the north boundary of which now forms part of the subject site boundary.
- The set-back in the boundary wall directly to the west of Emmet house matches that still evident today.
- A new structure to the south side of the yard is identified.
- The pathways inside the western boundary appears stopped by an enclosure at the south end of the site. (+116)

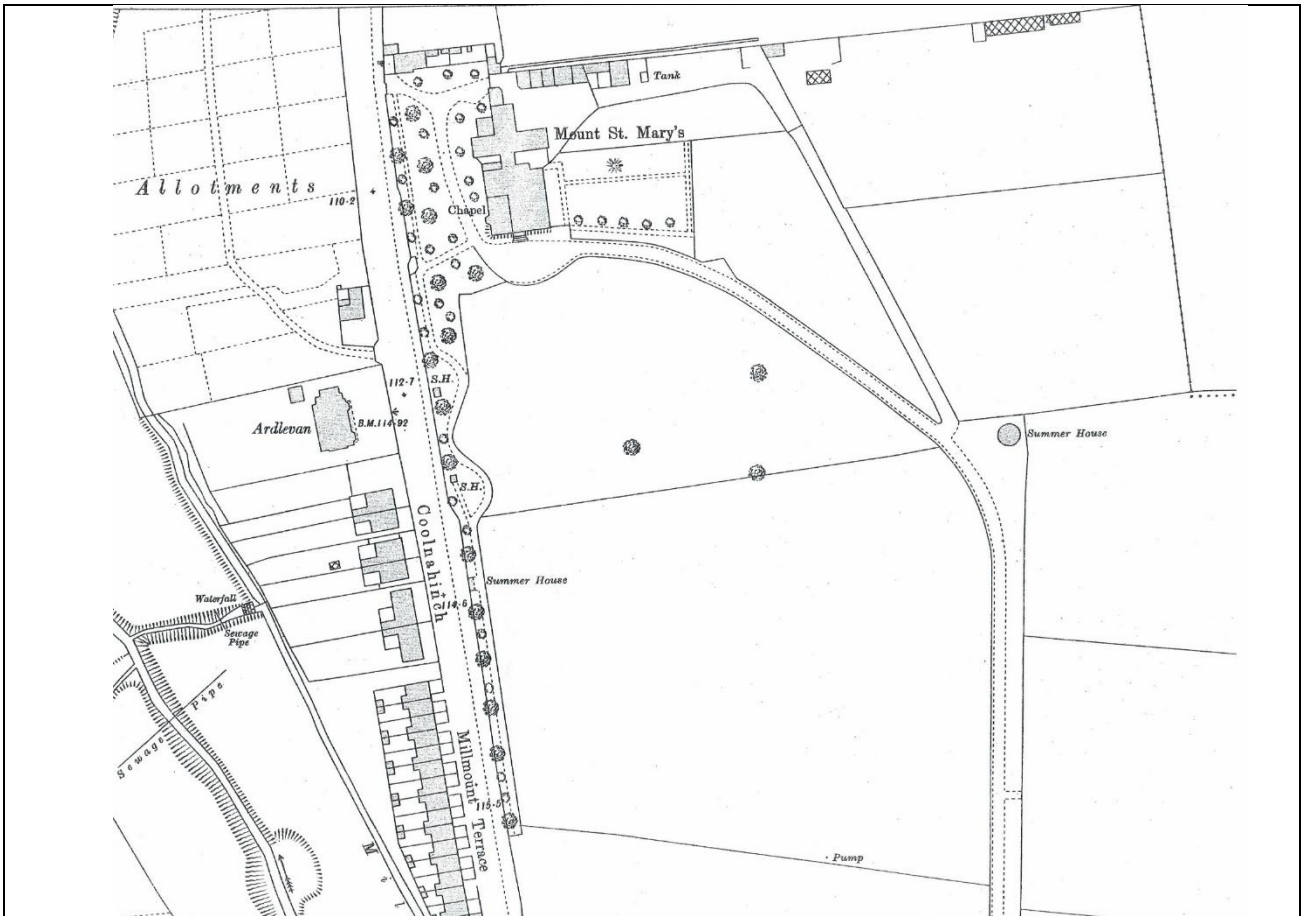


Fig. 35. Ordnance Survey Map of County Dublin Sheet 22-28 scale 1:1,056 Revised 1928 Published 1928

- The name of the property is shown as Mount St Marys for the first time; the seminary was started in 1920.
- The summer houses are identified (one of which was earlier an icehouse), as is the original Summer House to the east side at the end in the avenue.
- The south-west corner of the house has a chapel indicated, similar in size and location to the extant large office area on the ground floor.
- The buildings to the rear of the house are shown connected.
- No trees are shown along the pathway that connected the eastern summer house with the yard and kitchen garden.

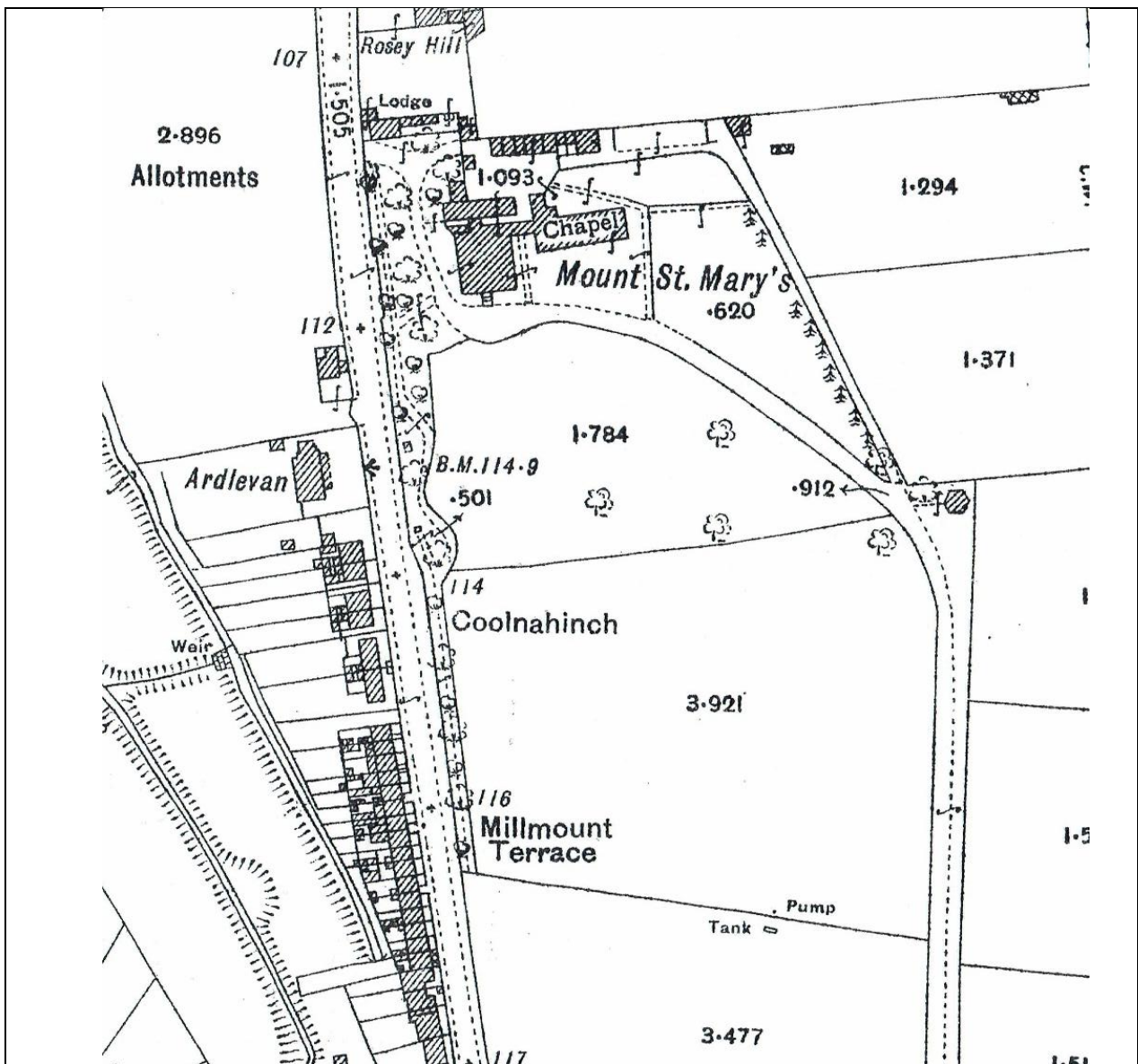


Fig. 36. Ordnance Survey Map of County Dublin Sheet 22-04 scale 1:2,500 Surveyed c1936

- There is little change from the previous map.
- A chapel has been added to the east of the main house.
- Conifers shown to the east of the upper avenue for the first time.
- The entrance roadway from Dundrum Road is now larger than previously shown.

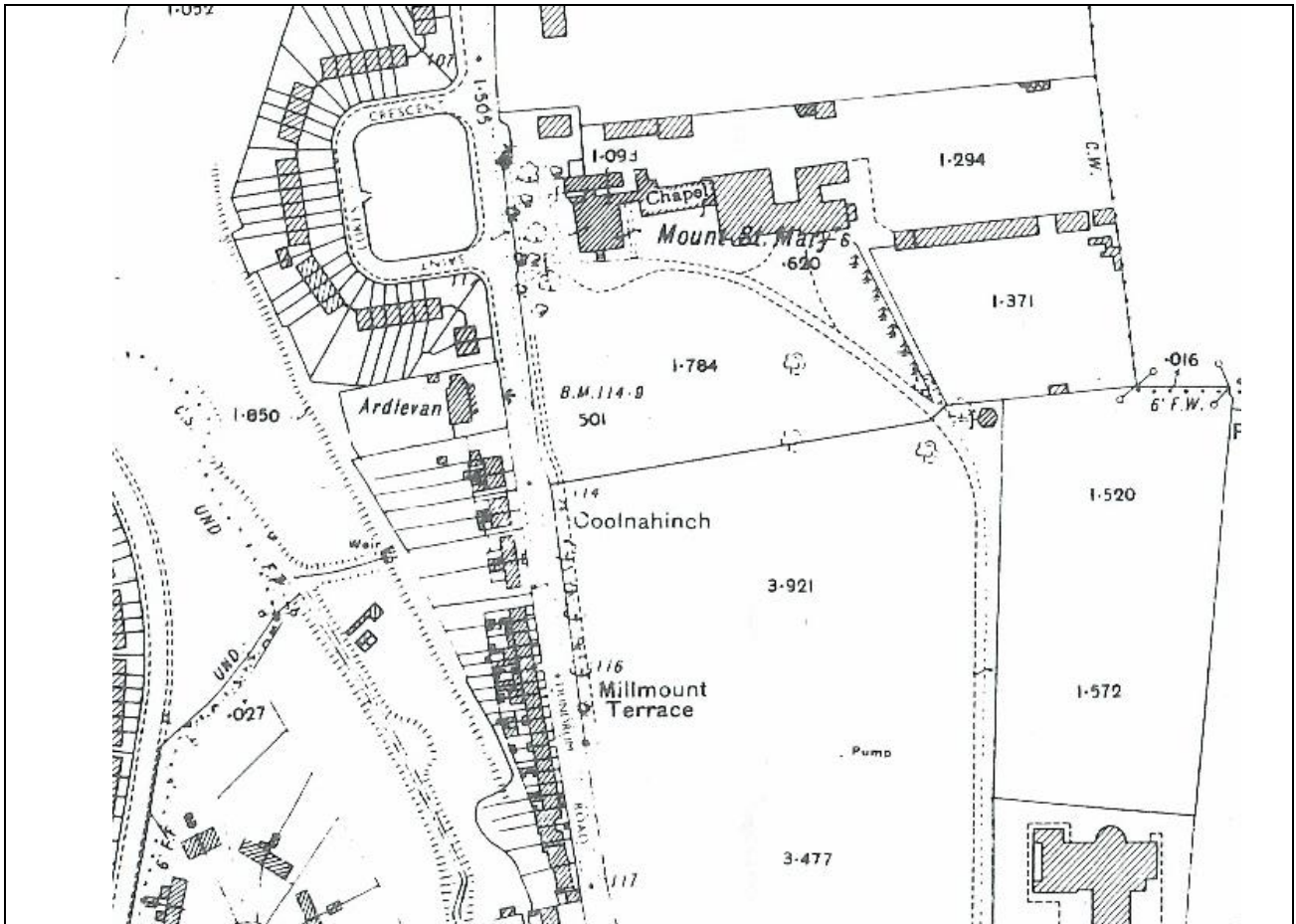


Fig. 37. Dublin Corporation Base Planning Map Scale: 1:5000 ca. 1985

- This map is 50 years later than the previous map. It shows structures replacing the lodge to the north of the site, the new chapel from the 1950's and the residence block.
- Structures are shown to the southern boundary of what was the walled garden.
- Thom's Directory 1985: listed as occupants:
 - Robert Emmet House – Alto Teo. (An Lárionad Teicneolaíochta Oideachas Teo.) Film Production
 - Mount St. Mary's – Marist Father's
 - Mount St. Mary's lodge – ESB Substation