



## Mount Saint Mary's Proposed Residential Development Housing Quality Assessment Report

Issued for Part 8 - Planning Application  
March 2025





## 1 - Executive Summary

This Housing Quality Assessment report forms part of a Part 8 Planning Application for the proposed development at Mt. St. Mary's, Dundrum Road, Dublin 14.

The purpose of this document is to assess the residential element of the proposed development, against the provisions of the Sustainable Urban Housing Standards for New Apartments and Compact Settlement Guidelines. It is intended to be read as a supplementary document to the Architecture Design Report prepared by Reddy Architecture + Urbanism.

The development will consist of 129 no. residential units together with associated infrastructure including open space and car/cycle parking and is a mixture of duplexes and apartments in 3 no. buildings ranging in height from two to part six stories.

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## Prepared By

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Reddy Architecture + Urbanism

### Planning Consultants:

Hughes Planning & Development Consultants

### Civil & Structural Engineers:

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### Building Services and Energy Engineers:

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### Fire Safety and DAC Consultants:

MJP Fire Safety Consultants

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### Arborist Consultants:

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### Ecologists:

Open Field – Ecologists

### Visualisations:

3D Design Bureau – Visual Architects and Analysis

### Conservation Architects:

Chris Ryan Architects & Designers

### Environmental Studies (Daylight / Shadow / Wind):

3D Design Bureau

### Waste Study:

AWN Consulting

### Housing Quality Assessment

This Housing Quality Assessment provides a framework which quantifies each of the criteria required by the ‘Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities 2023 against the proposed apartment elements of the development.

The ‘Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities’ specify planning policy requirements for:

- Mix of Units
- Apartment Floor Areas
- Dual Aspect Ratios
- Floor to Ceiling Height
- Lift and Stair Cores
- Internal Storage
- Private Amenity Space
- Security Considerations
- Communal Facilities

The guidelines have been issued by the Minister for Housing, Planning and Local Government under Section 28 of the Planning and Development Act 2000 (as amended). Planning authorities and An Bord Pleanála are required to have regard to the guidelines and are also required to apply any specific planning policy requirements (SPPRS) of the guidelines, within the meaning of Section 28 (1C) of the Planning and Development Act 2000 (as amended) in carrying out their functions. Accordingly, where SPPRS are stated in the guideline document, they take precedence over any conflicting, policies and objectives of development plans, local area plans.

Qualitative aspects such as the Residential Conceptual Design approach are covered within the accompanying Architectural Design Statement.

It is noted all apartments fully comply with all the criteria in the Design Standards for New Apartments and the qualitative aspects are exceeded.

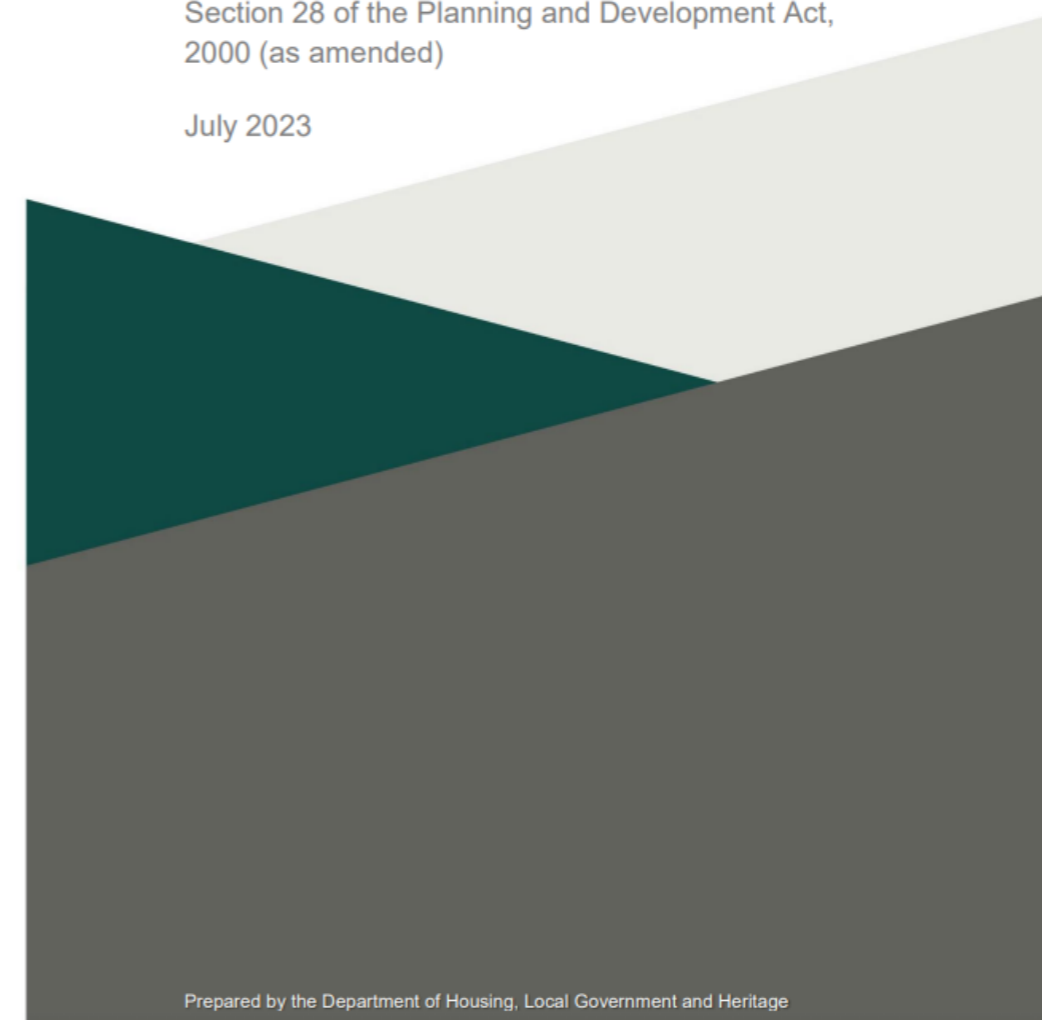


An Roinn Tithíochta,  
Rialtais Áitiúil agus Oidhreachta  
Department of Housing,  
Local Government and Heritage

### Sustainable Urban Housing: Design Standards for New Apartments

Guidelines for Planning Authorities issued under  
Section 28 of the Planning and Development Act,  
2000 (as amended)

July 2023



Prepared by the Department of Housing, Local Government and Heritage

SUSTAINABLE URBAN HOUSING: DESIGN STANDARDS FOR NEW APARTMENTS



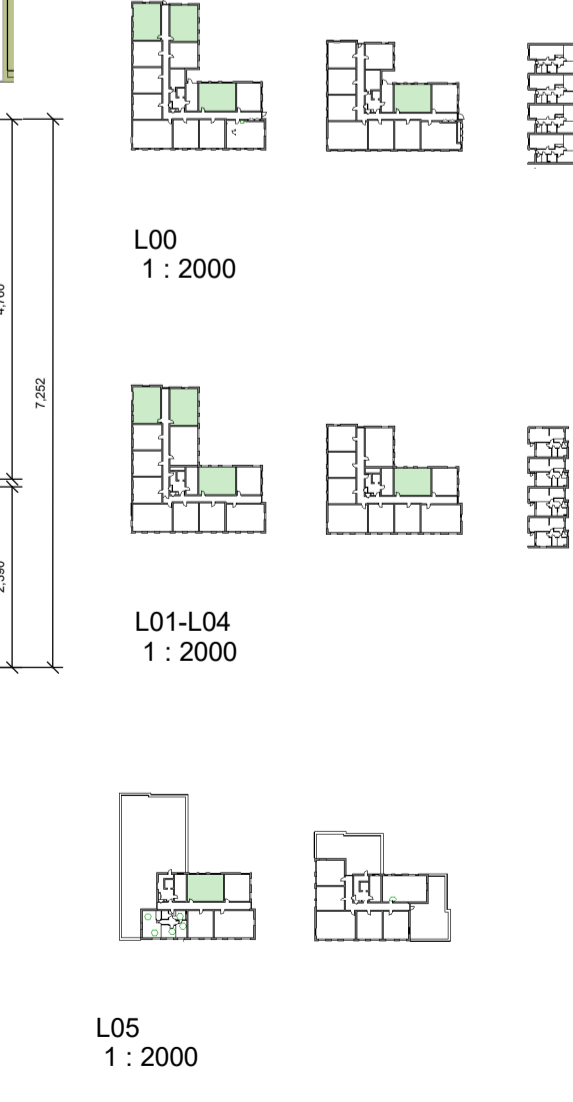
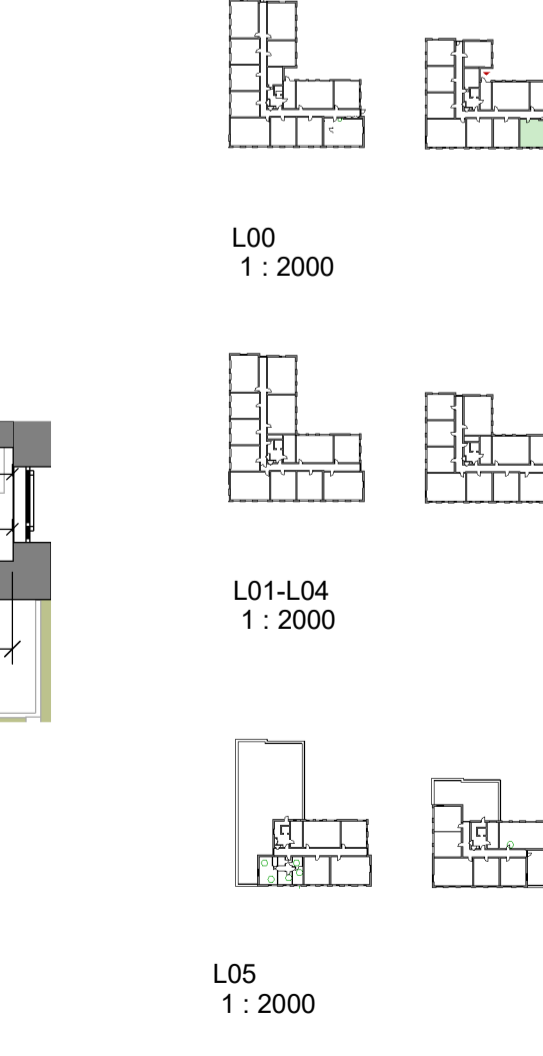
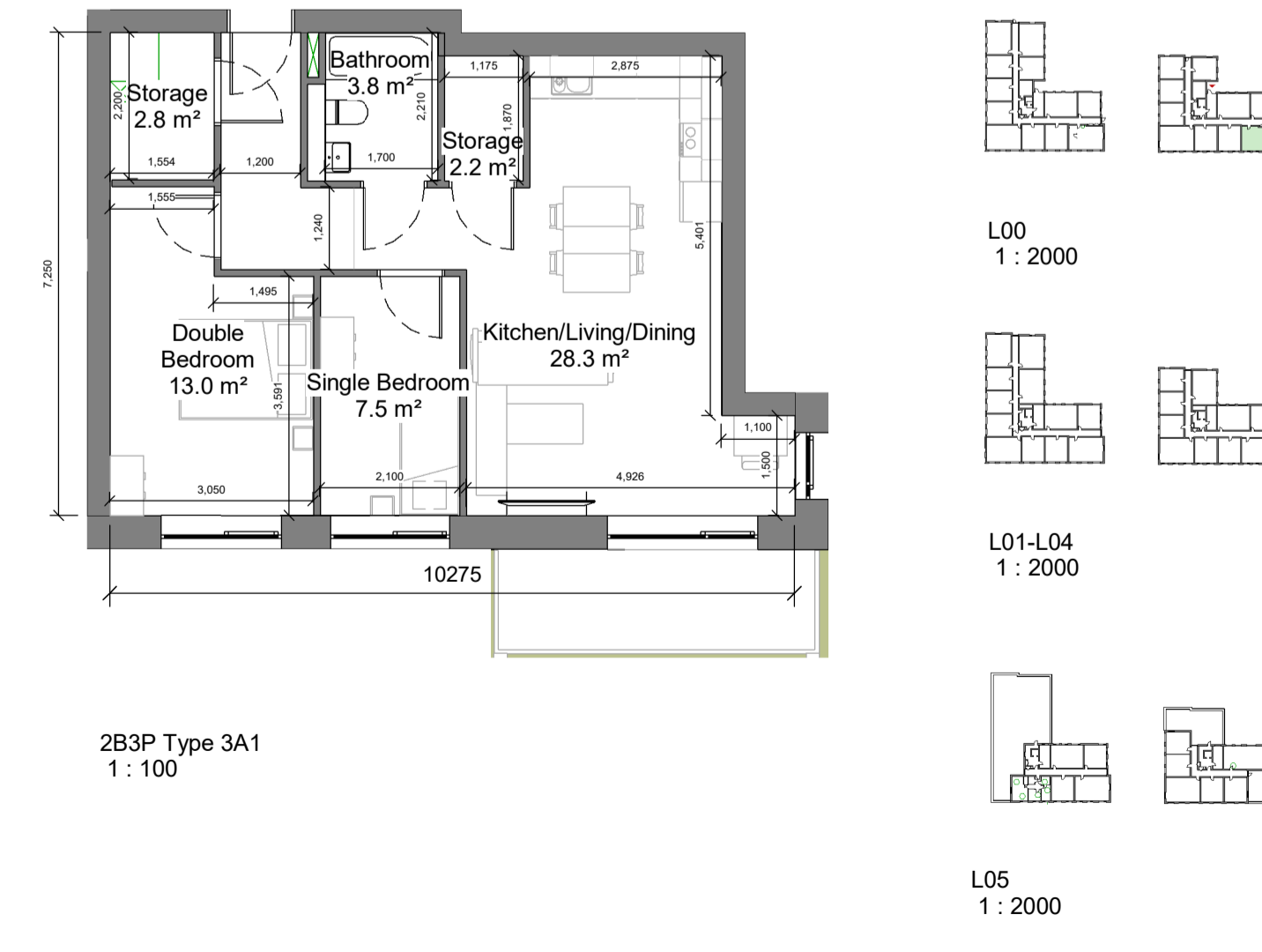
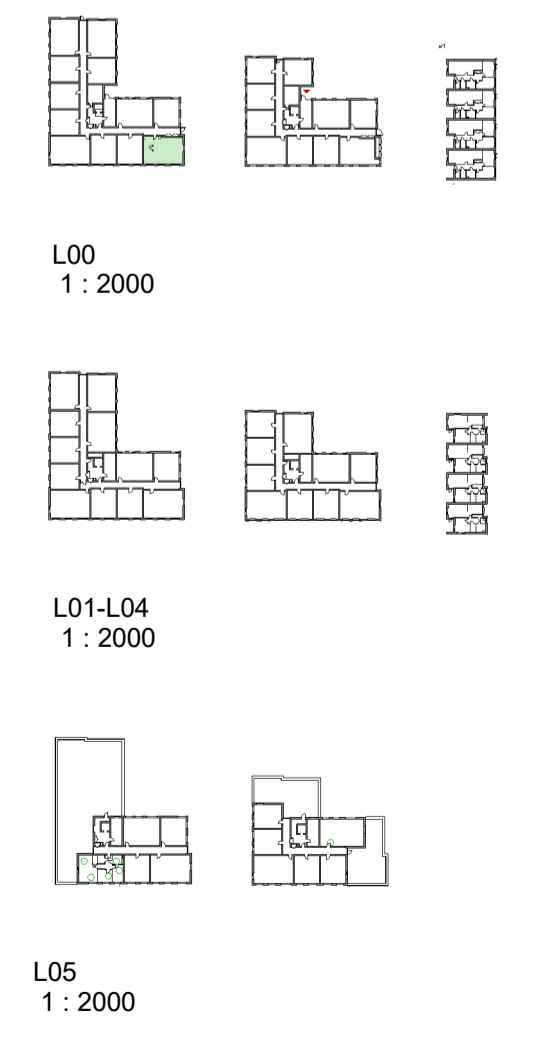
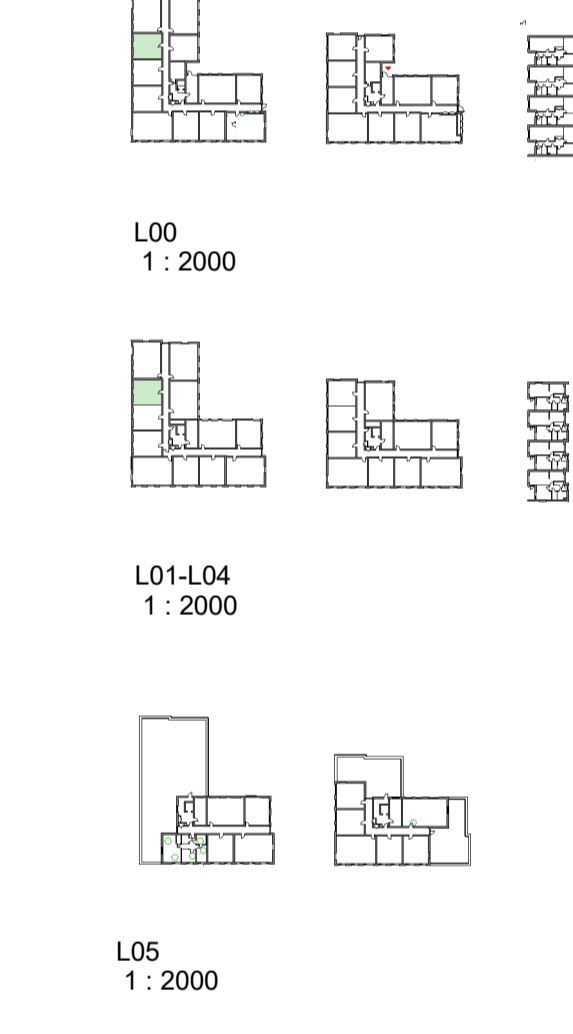
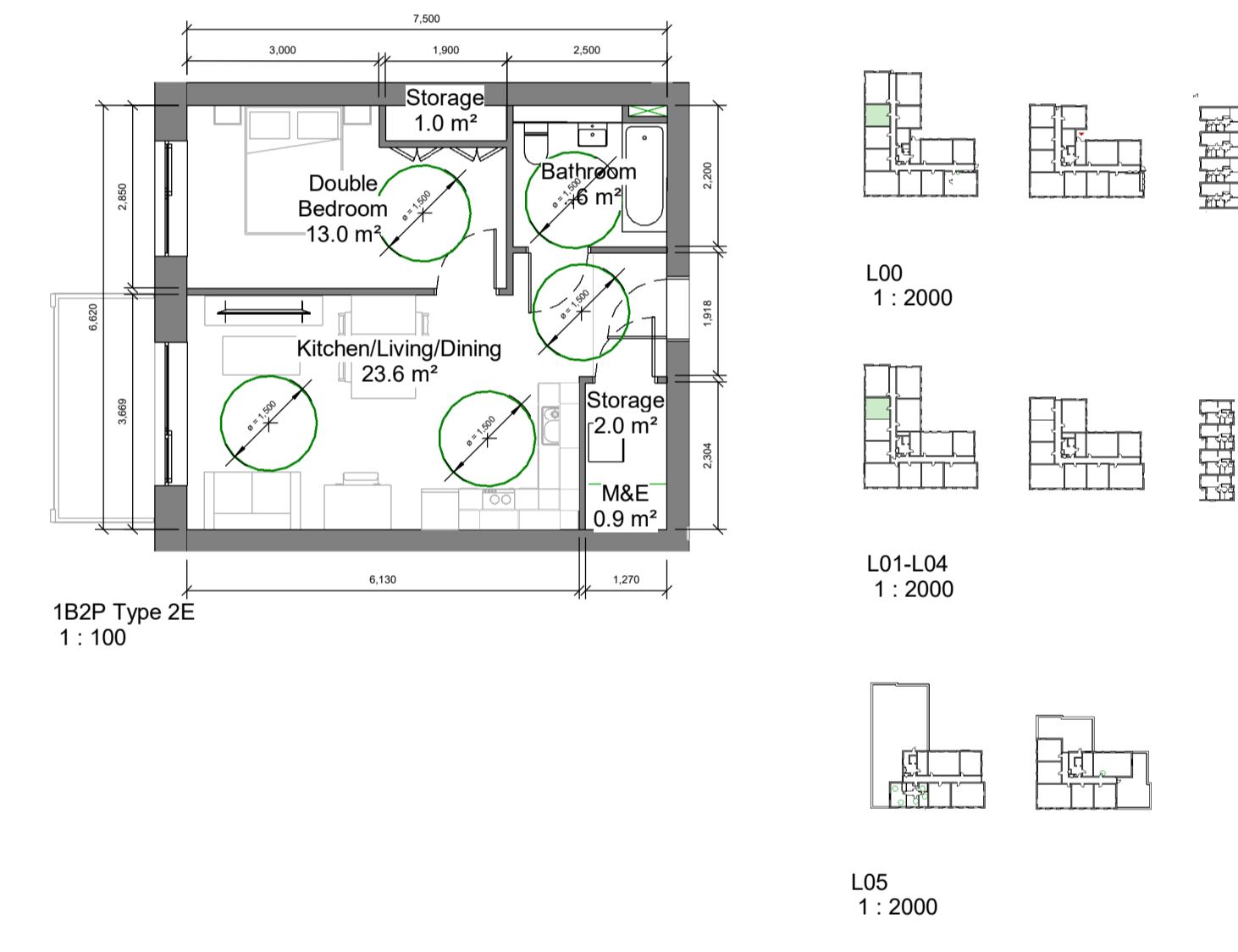
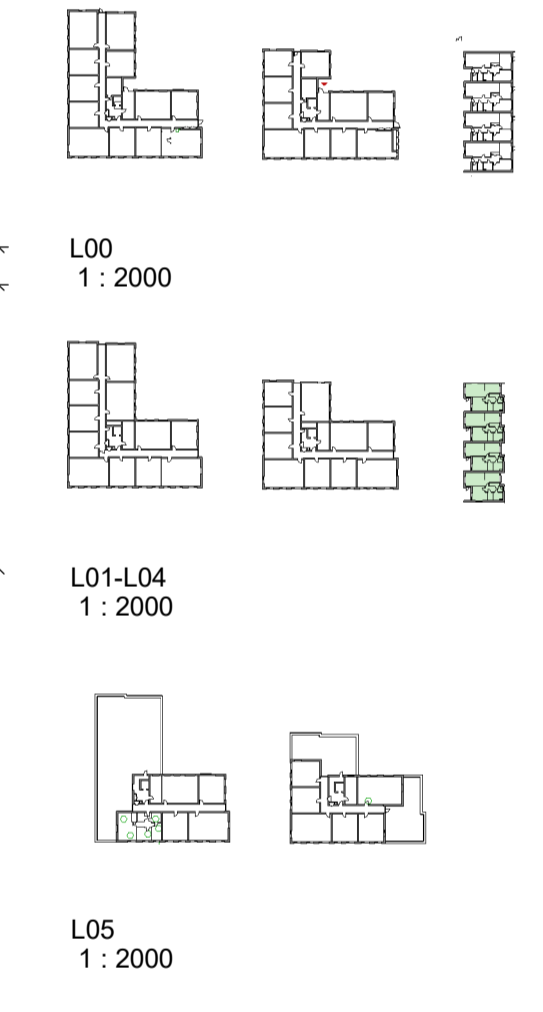
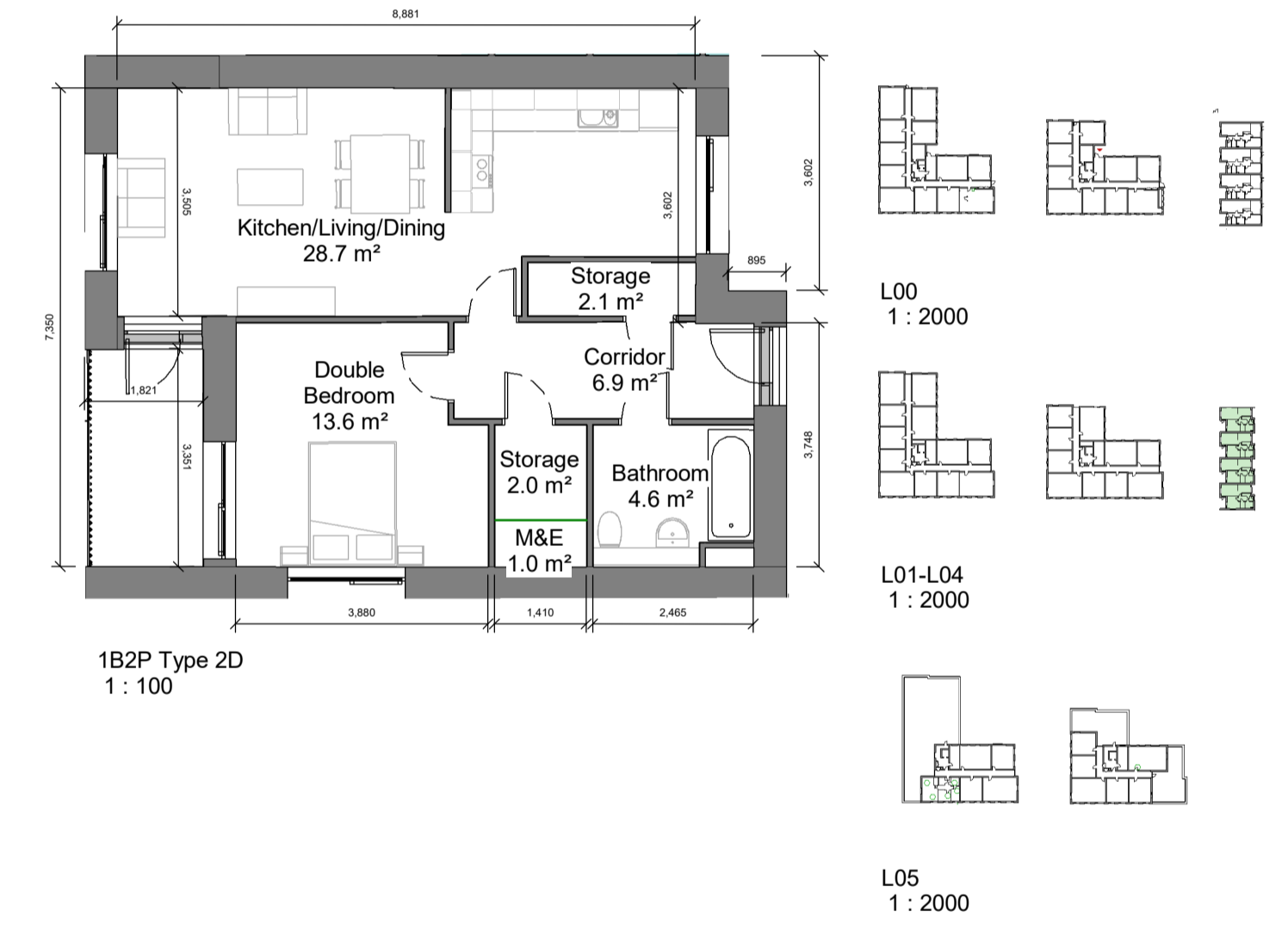
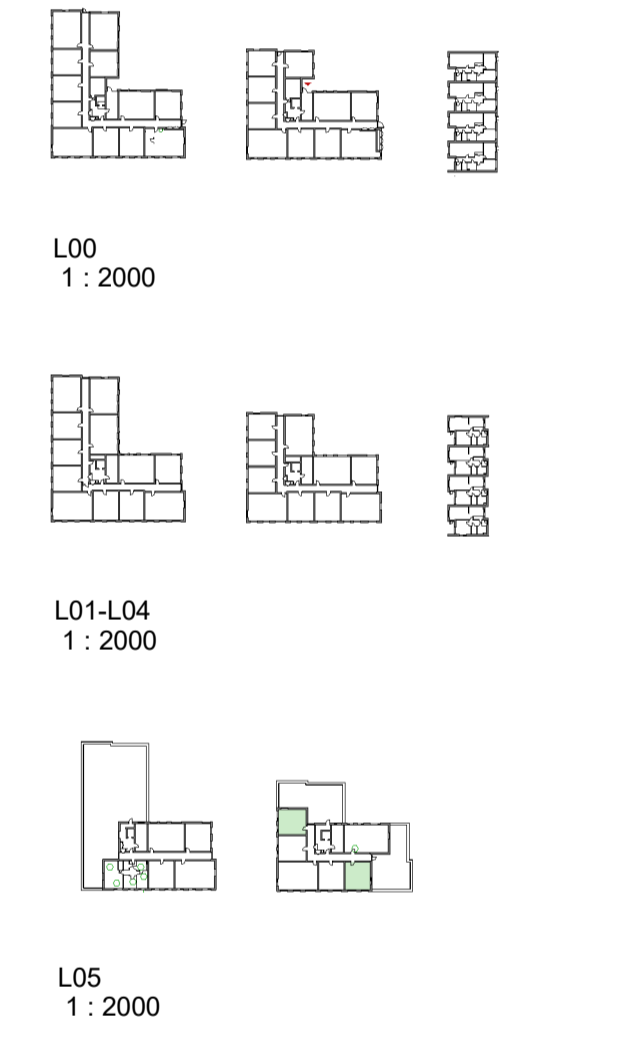
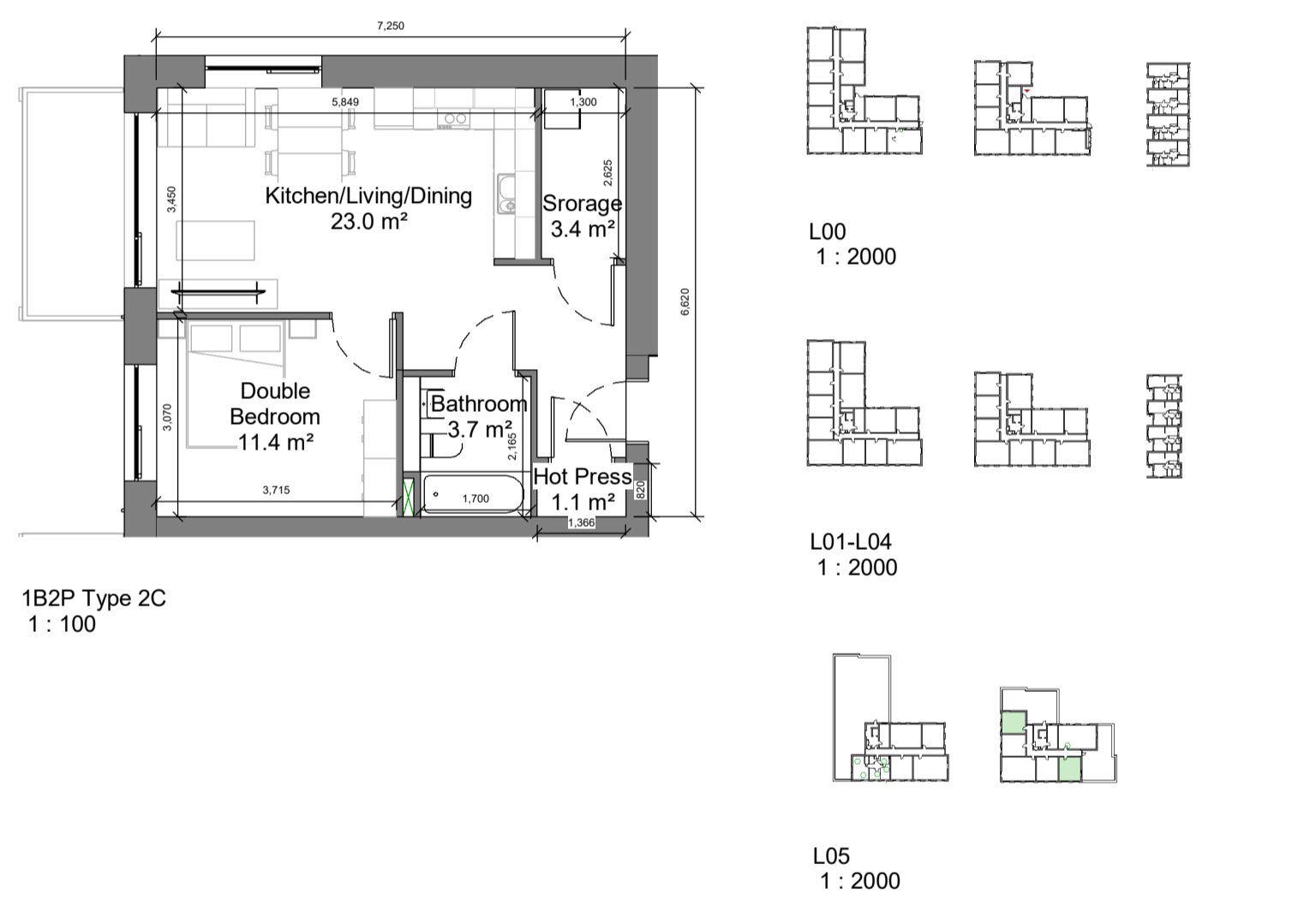
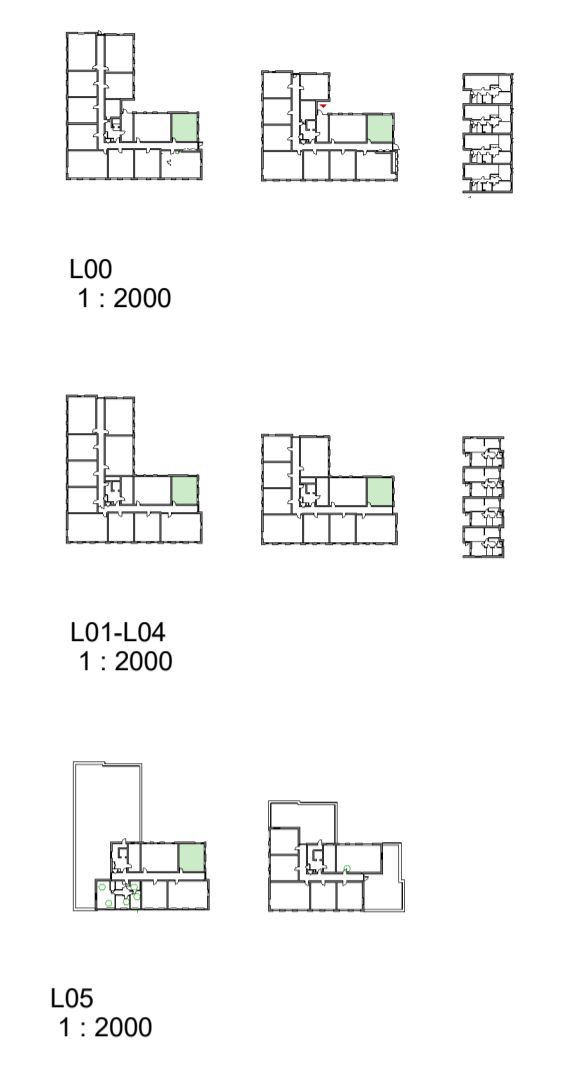
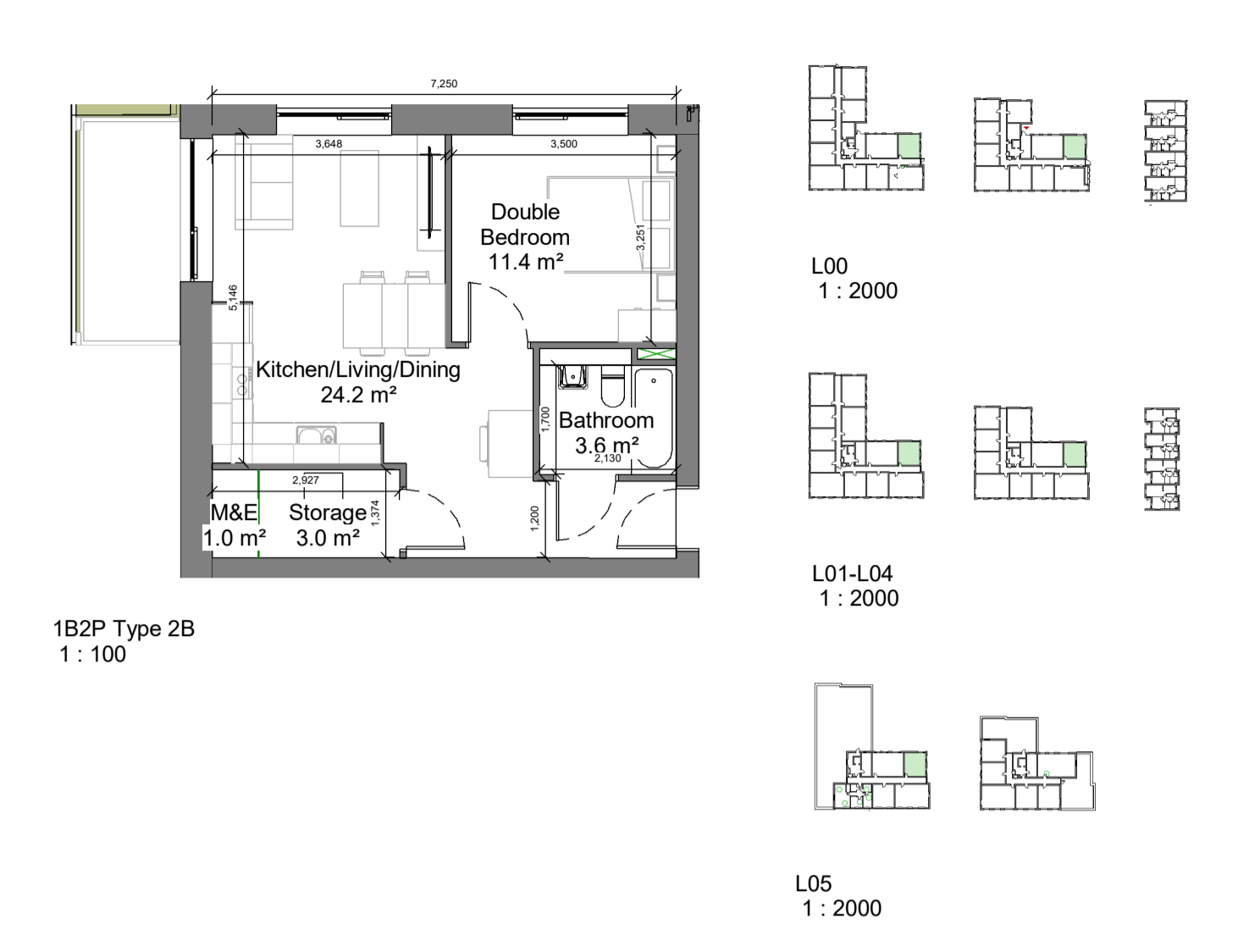
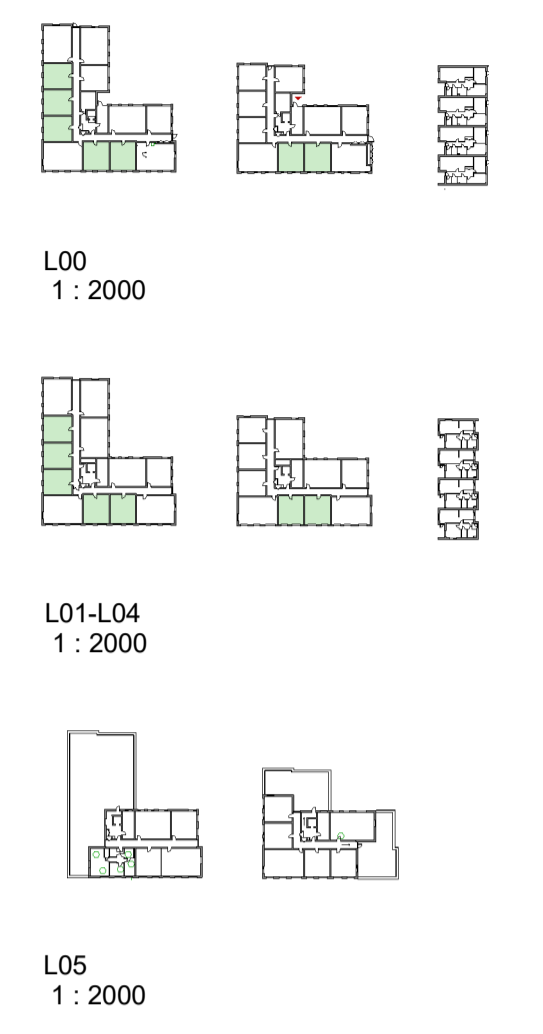
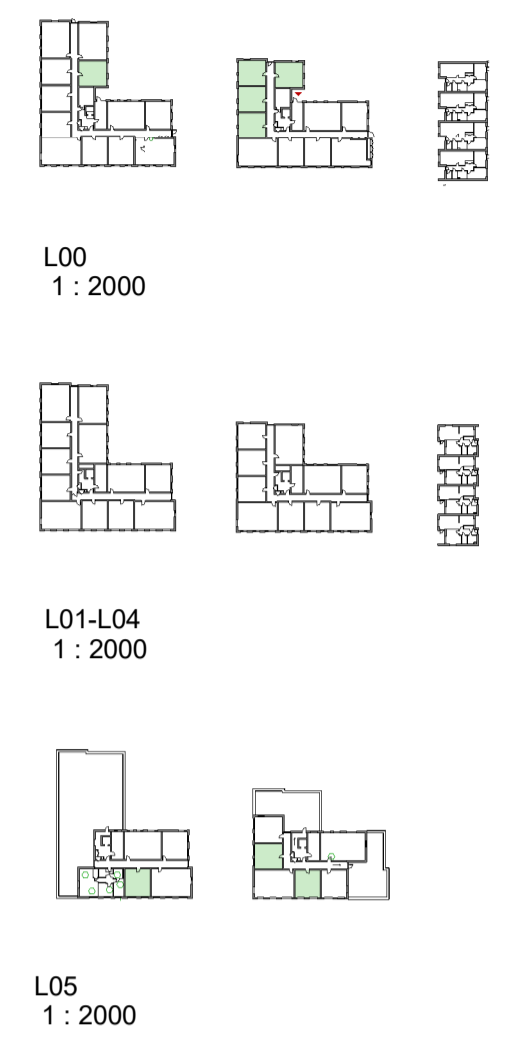
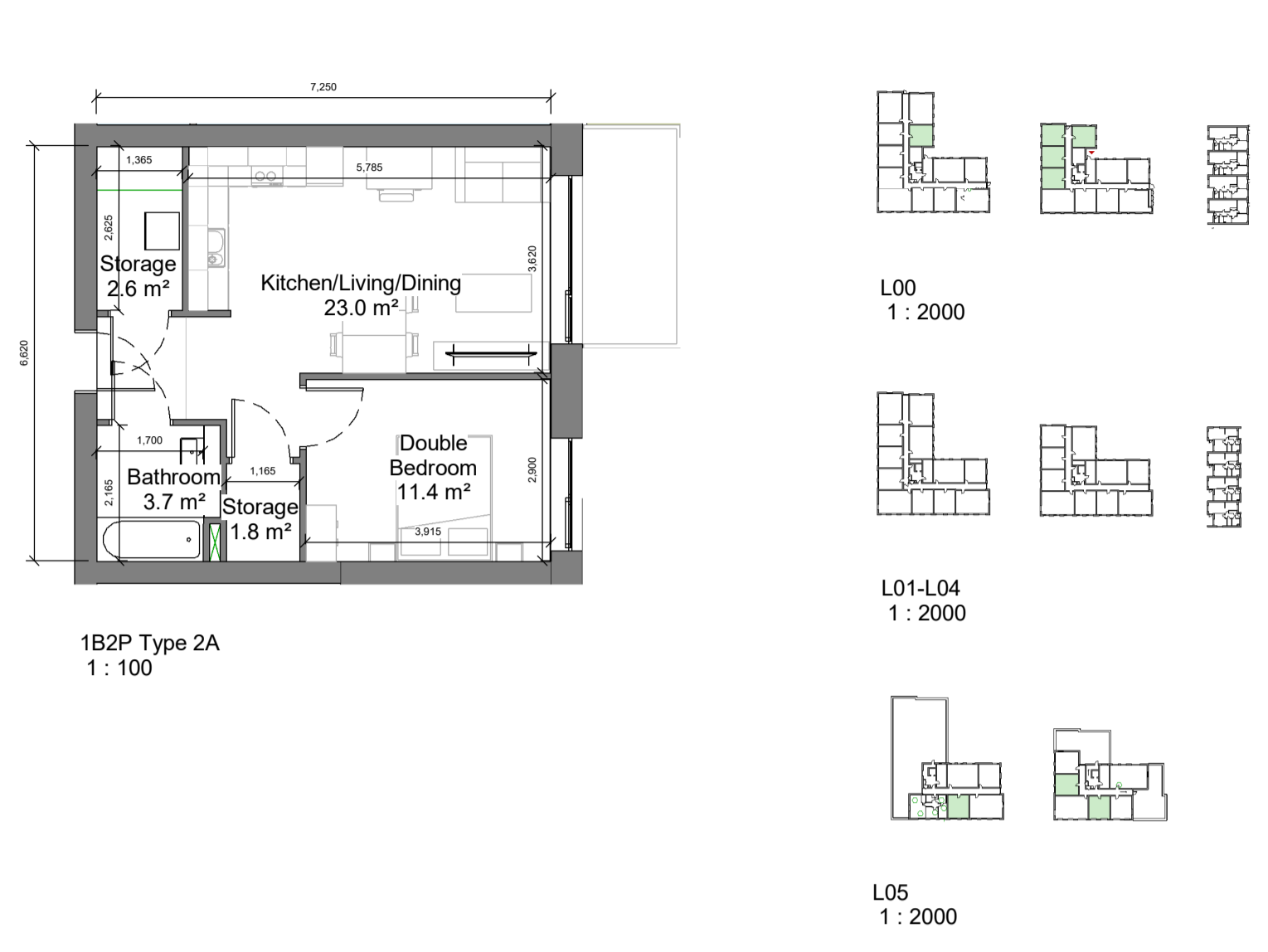
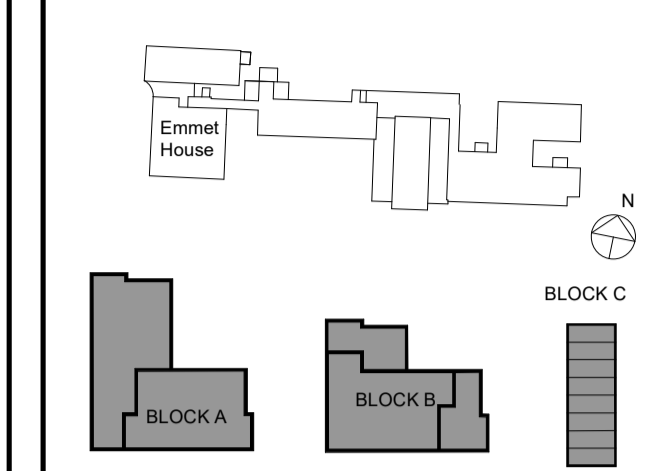






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**Drawing Notes:**



P3 S-2	Feb 2025	BG	Planning Application
P3 S-1	Oct 2024	BG	Pre-Planning Application
Rev.	Date	Drawn	Details of Issue / Revision

Issues & Revisions

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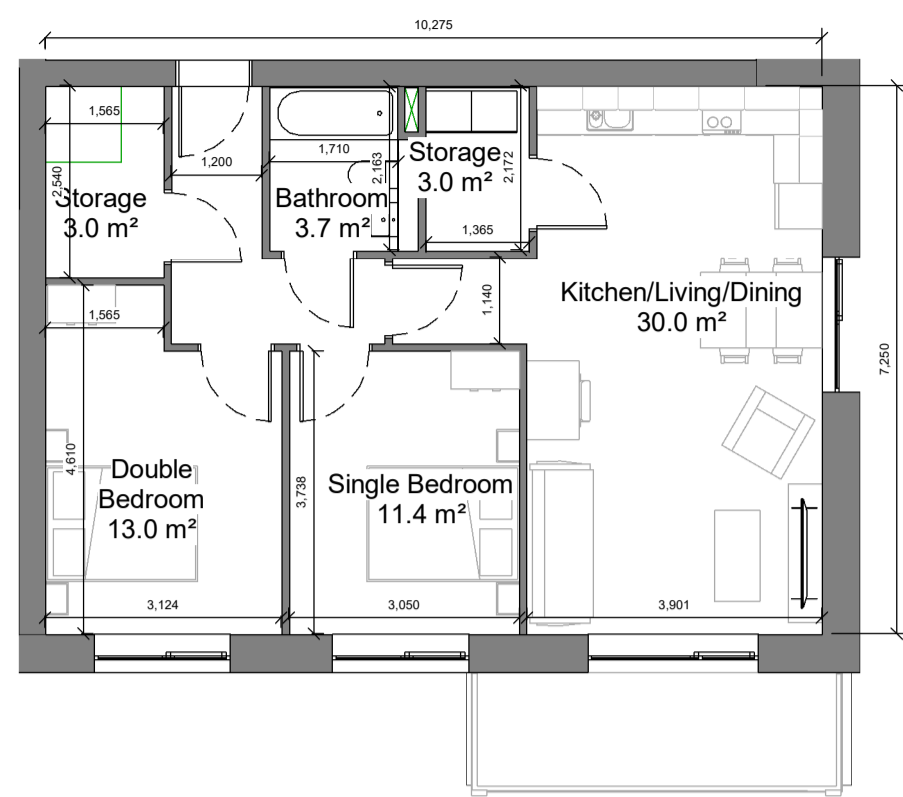
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**Dún Laoghaire-Rathdown County Council**

Project Details:  
**Proposed Residential Development,  
 Mount Saint Mary's, Dundrum Road, Dublin 14**

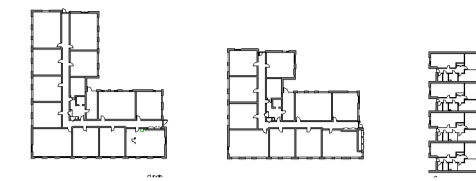
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Feb 2025	B. Gil	R. Quinn
Status	Purpose of Issue	
<b>P3</b>	<b>Planning Application</b>	
Project-Originator-Zone-Level-Type-Role-Classification-Number	Revision	
<b>MSM-02-SW-ZZZ-DR-RAU-AR-1220</b>	<b>P3 S-2</b>	





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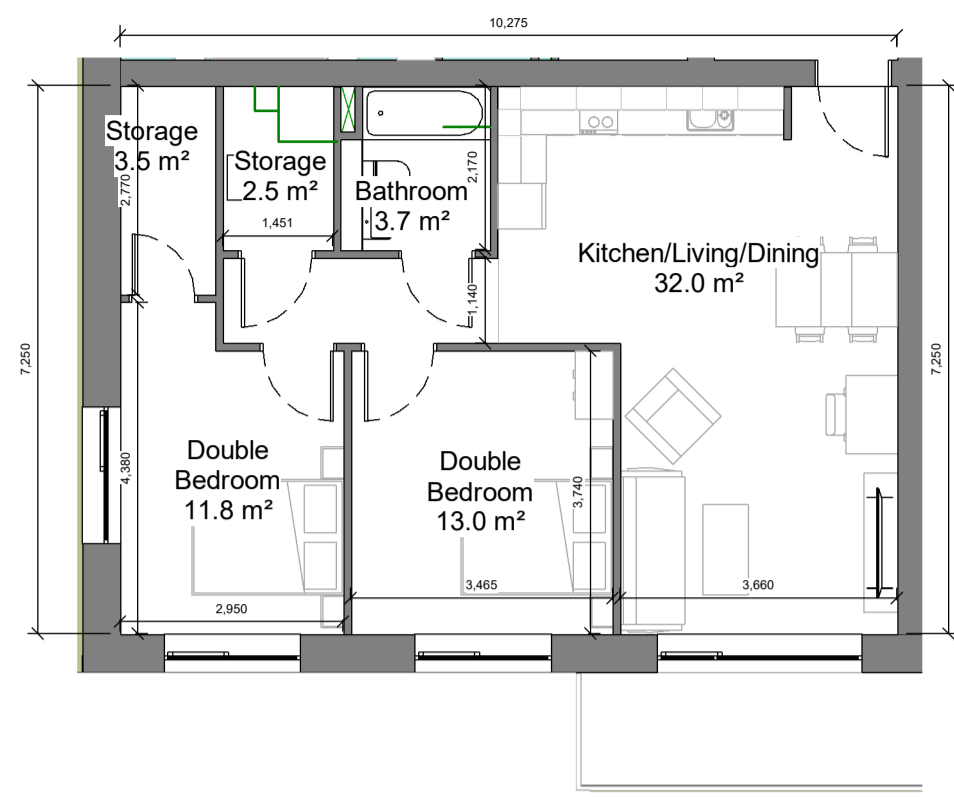
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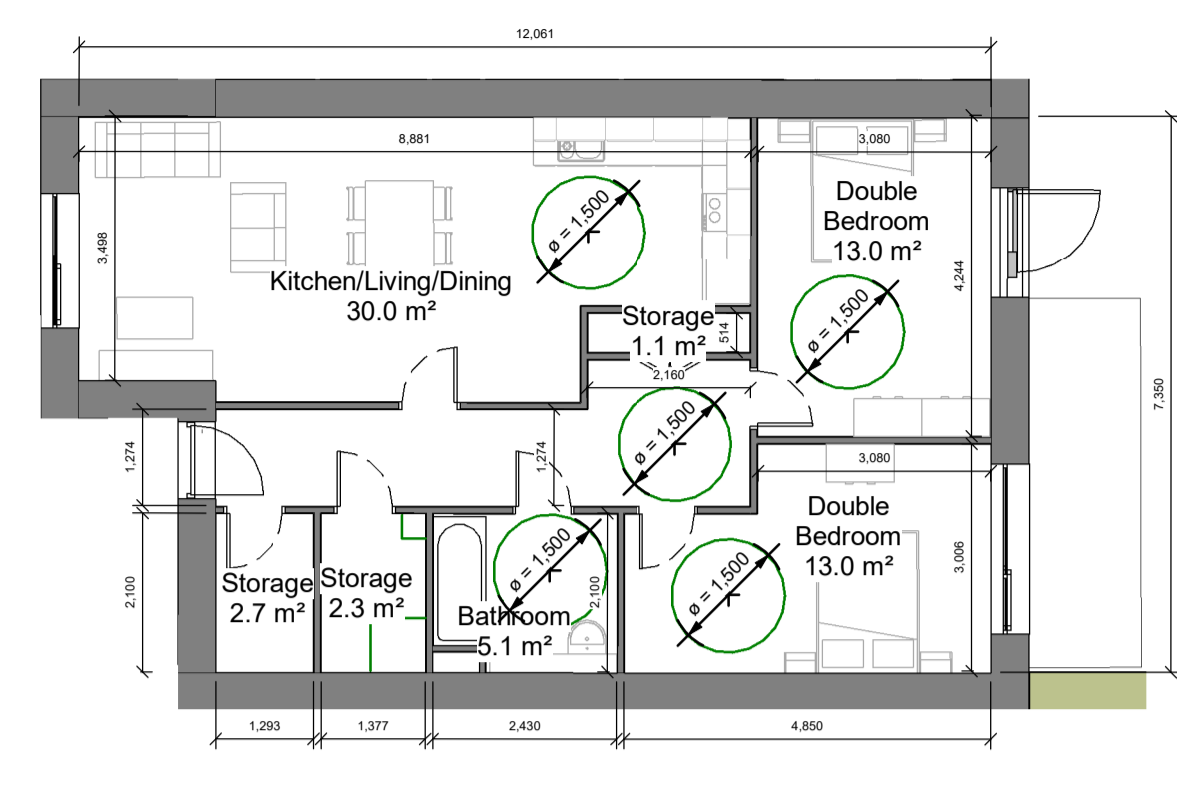
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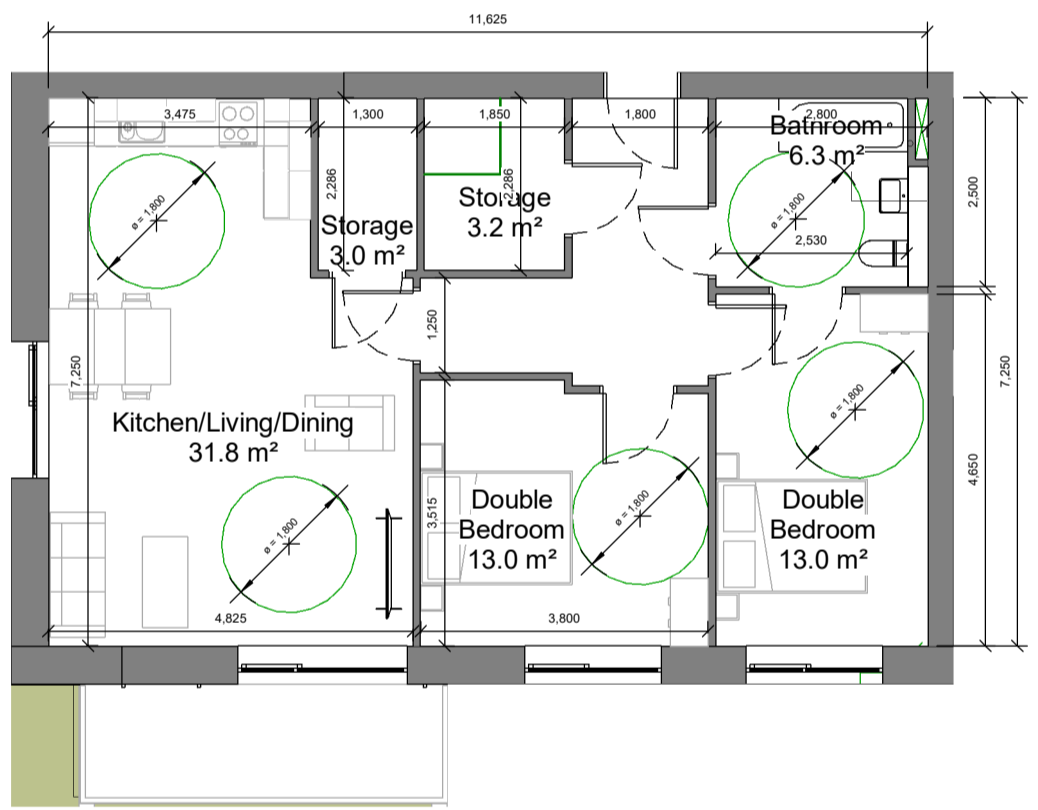
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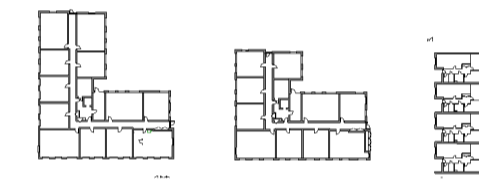
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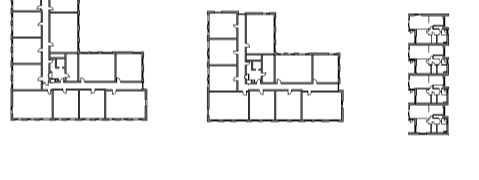
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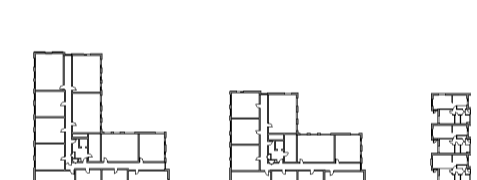
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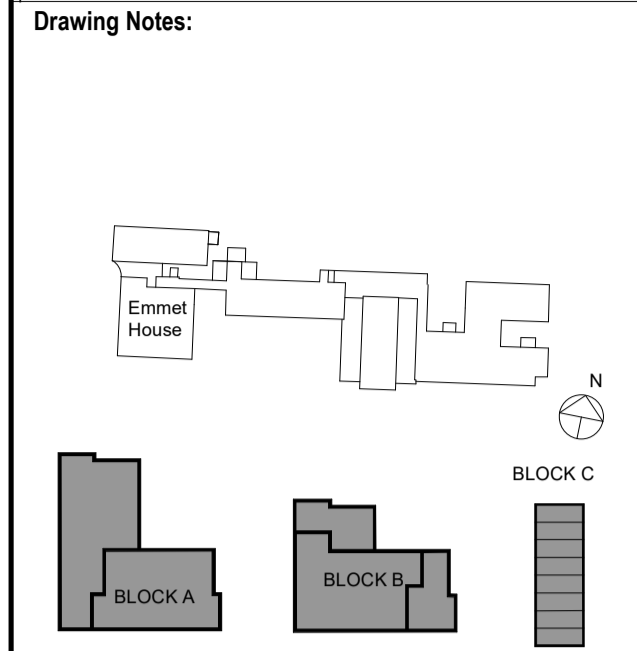


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Rev.	Date	Drawn	Details of Issue / Revision
P3 S-2	Feb 2025	BG	Planning Application
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Issues & Revisions

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Project Details:  
**Proposed Residential Development,  
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Drawing Title:  
**Proposed Apartment Types 02**

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